



FREDERICK COUNTY BOARD OF APPEALS

NOVEMBER 16, 2023

TITLE: C.E. Rensberger & Family Builder LLC.

CASE NUMBER: B-23-20 (B275704)

REQUEST: Requesting approval of a variance to reduce the required 30 ft. front Building Restriction Line (BRL) to 15 ft., in accordance with Frederick County Code¹ Sections 1-19-3.220 Variances, and 1-19-6.100 Design Requirements. The purpose of the variance is to allow for the construction of an accessory structure (detached garage). Approval of this application would leave a front BRL of 15 ft.

PROJECT INFORMATION:

ADDRESS/LOCATION: 4734 Old Middletown Rd., Jefferson Md 21755
TAX MAP/PARCEL: Tax Map 84, Parcel 0256, Size 1.68 Acres
ZONE: (R3) Low Density Residential
REGION: Middletown
WATER/SEWER: W-5/S-5
COMP. PLAN/LAND USE: Low Density Residential

APPLICANT/REPRESENTATIVES ²:

APPLICANT: C.E. Rensberger & Family Builders LLC.
OWNER: Jason R Hawk and Jamie J Hawk
ENGINEER: N/A
ARCHITECT: N/A
ATTORNEY: N/A

STAFF: Michael Paone, Zoning Planner

RECOMMENDATION: Based on the findings and conclusions in the staff report, Staff finds that the proposed 15 ft. variance to a 30 ft. front building restriction line in order to construct a single-family residence, complies with Section 1-19-3.220 (Variance), and Section 1-19-6.100 (Design Standards) of the Frederick County Code. Approval of this Application would result in a 15 ft. front building restriction line (BRL).

ATTACHMENTS:

Attachment 1: Property Location Map
Attachment 2: Variance Map
Attachment 3: Variance Map Continued
Attachment 4: Elevation Map
Attachment 5: Aerial Map
Attachment 6: Comprehensive Plan Map
Attachment 7: Environmental Features Map
Attachment 8: Zoning Map

¹ Unless otherwise specified, all statutory references in this document are to the Frederick County Code.

² The term Applicant refers to both the Representative and Property Owners.

Background

The property zoning is (R3) Low Density Residential and the required setbacks for this property are front – 30', side – 10', rear – 30'.

The Applicant is requesting a 15 ft. variance to a 30 ft. front building restriction line in order to construct an accessory structure (garage), in accordance with Section 1-19-3.220 Variances, and Section 1-19-6.100 Design Standards. If approved, the variance would result in a 15 ft. front building restriction line. **(Attachment 1)**

Sec. 1-19-3.220 General Criteria - Variance:

- (A) The Board of Appeals may authorize a variance in height, lot area and yard regulations.

The Applicant states that they understand this requirement. The Applicant is requesting a variance to the front Building Restriction Line (BRL), in order to construct an accessory structure. This request falls under the purview of the BOA.

- (B) An application for a variance shall be filed with the Board of Appeals only after refusal of zoning approval or an adverse determination has been issued by the Zoning Administrator.

The Applicant states that the County Zoning staff directed him to file with the Board of Appeals. Zoning staff met with the Applicant and stated that a variance through the BOA was the only way to obtain approval for the request they were proposing.

- (C) The Board of Appeals shall not grant a variance unless and until a public hearing is held and all of the following criteria are met:

The hearing is scheduled for November 16, 2023.

- (1) First, the Board of Appeals shall find that special conditions and circumstances exist which are unique to the land or structure involved and which are not applicable to other lands or structures in the same district.

The Applicant states that the conditions and circumstances are not the result of actions taken by the property owner. This lot is unique to the area as it is the only one situated at the bottom of the hill, bordered by wet soils, and with a very small back yard.

- (2) Upon making this finding the Board of Appeals shall also find that the following criteria are met

- (a) That the special conditions and circumstances do not result from the actions of the applicant; and

The Applicant states that the conditions and circumstances are not the result of actions taken by the property owner. This lot is unique to the area as it is the only one situated at the bottom of the hill, bordered by wet soils, and has a very small back yard.

- (b) The literal interpretation of the provisions of Chapter 1-19 of the Frederick County Code would result in unreasonable hardship and deprive the applicant of rights commonly enjoyed by other properties in the same district under terms of Chapter 1-19; and

The Applicant states that literal interpretation of Chapter 1-19 deprives the family of the ability to locate this building within a reasonable and useful distance from the existing home. The only alternative is to place the garage in the back yard, which forces the loss of the use of the back yard. Others in the community have the ability to build a garage and locate it reasonably in relation to their homes (Attachment 3)

- (c) That granting the variance will not confer on the applicant any special privilege that is denied by Chapter 1-19 of the Frederick County Code to other lands or structures in the same district; and

The Applicant states that the granting of this variance would not confer any special privilege for them. This lot is unique as it is the only one situated at the bottom of the hill, bordered by wet soils, and has a very small back yard. When created, the lot was manipulated in order to accommodate the public frontage requirement and include the well location, leaving little usable area, which is unlike the other lots in this subdivision.

- (d) That the granting of the variance will be in harmony with the general purpose and intent of Chapter 1-19 of the Frederick County Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

The Applicant states that the granting of this variance is in harmony with the general purpose and intent of the Section 1-19-3.220. The granting of the variance will not be injurious to others or detrimental to the public. This variance will have no adverse impact on the surrounding community.

- (D) In granting the variance, the Board of Appeals may prescribe appropriate conditions and safeguards in conformity with Chapter 1-19 of the Frederick County Code. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, is a violation of Chapter 1-19.

The Applicant states that they understand this requirement and will comply with any conditions prescribed by the Board.

- (E) Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of Chapter 1-19 of the Frederick County Code in the zone involved, or any use expressly or by implication prohibited by the terms of Chapter 1-19 in said zone.

The Applicant states that the requested use is permitted, and not prohibited, under the terms of Chapter 1-19 of the Frederick County Code.

- (F) Except as specified in § 1-19-4.220(C), the Board of Appeals shall not grant a variance to a nonconforming structure for the portion of structure determined by the Zoning Administrator to be nonconforming.

The Applicant states that they are not requesting the approval of a variance to a nonconforming structure.

- (G) A decision of the Board of Appeals granting a variance will be void 2 years from date of approval by the Board of Appeals unless the use is established, a building permit is issued, construction has begun, or final site development plan approval has been received in accordance with the terms of the decision. Upon written request submitted to the Zoning Administrator no later than 1 month prior to the expiration date and for good cause shown by the applicant, a 1-time extension may be granted by the Zoning Administrator for a period not to exceed 6 months.

The Applicant states that they understand this requirement and will comply.

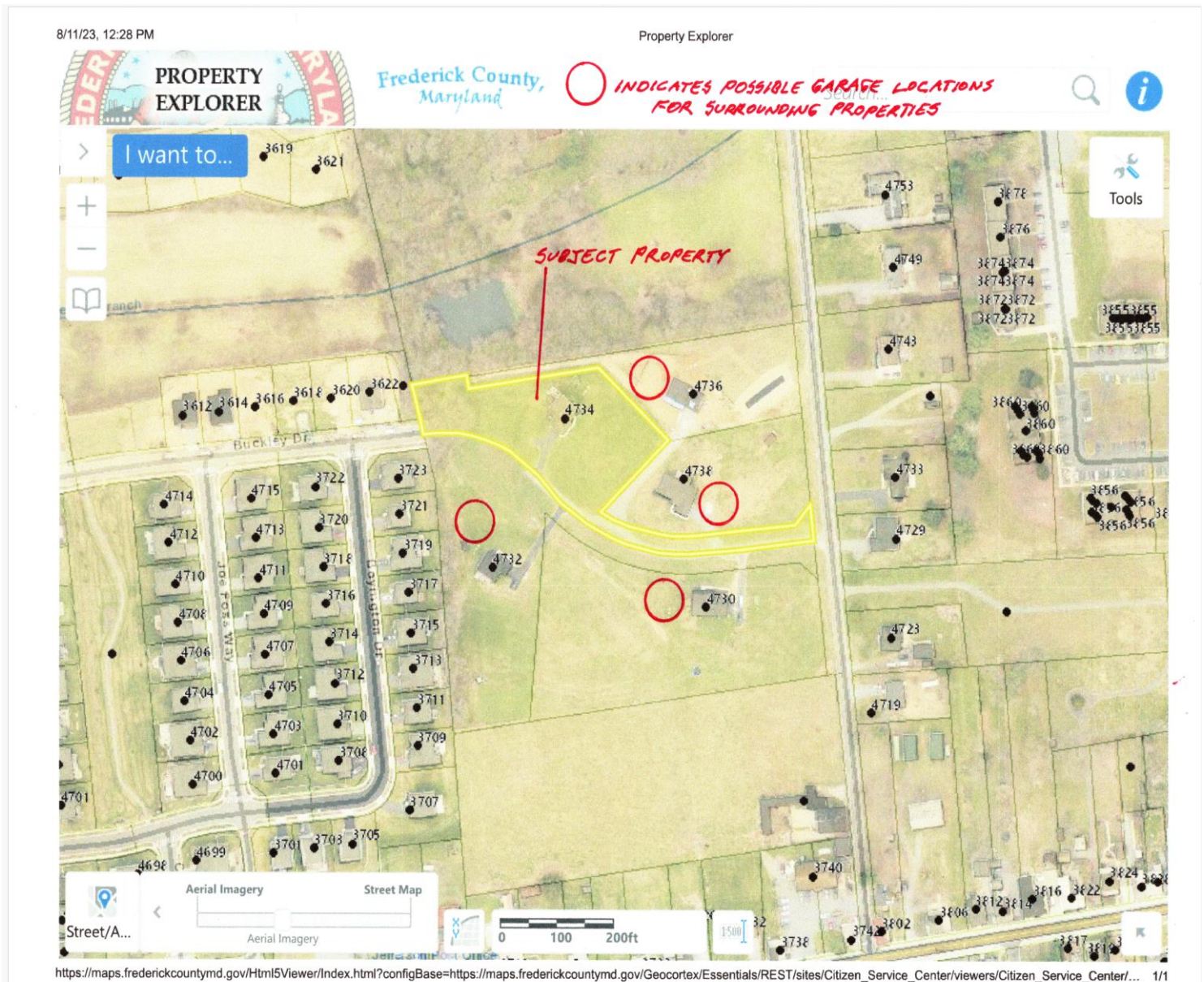
RECOMMENDATION

Based on the findings and conclusions in the staff report, Staff finds that the proposed 15 ft. variance to a 30 ft. front building restriction line in order to construct a garage, complies with Section 1-19-3.220 (Variance), and Section 1-19-6.100 (Design Standards) of the Frederick County Zoning Code. Approval of this application would result in a 15 ft. front building restriction line (BRL).

The Board shall consider whether to grant approval of a variance in accordance with Section 1-19-3.220 and Section 1-19-6-100, of the Frederick County Code.

A decision of the Board of Appeals granting a variance will be void 2 years from date of approval by the Board of Appeals unless the use is established, a building permit is issued, construction has begun, or final site development plan approval has been received in accordance with the terms of the decision. Upon written request submitted to the Zoning Administrator no later than 1 month prior to the expiration date and for good cause shown by the applicant, a 1-time extension may be granted by the Zoning Administrator for a period not to exceed 6 months.

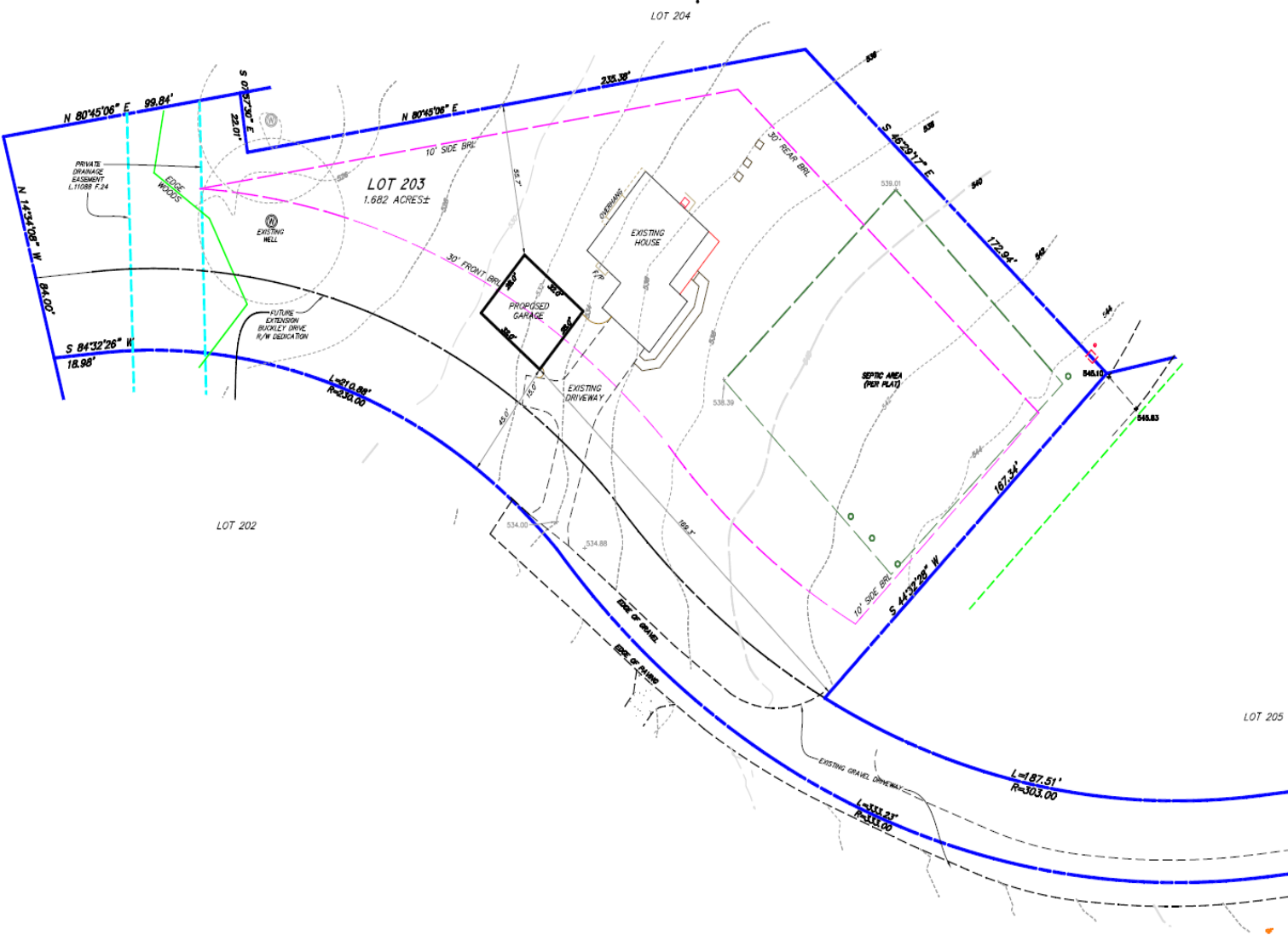
Attachment 1: Property Location Map



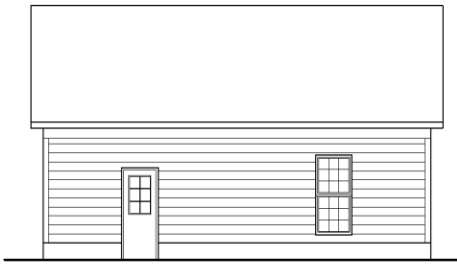
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B 23-20 – Variance - C.E. Rensberger & Family LLC



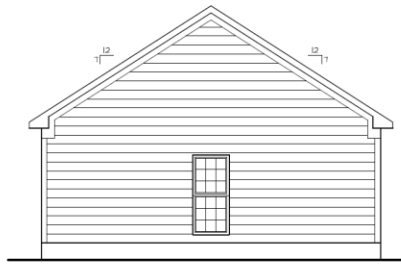
Attachment 3: Variance Maps Continued



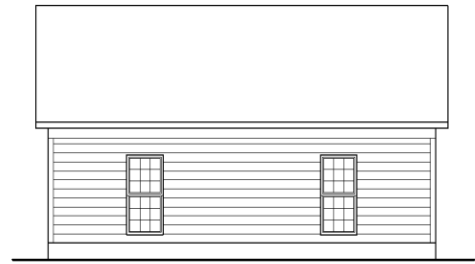
Attachment 4: Elevation Drawings



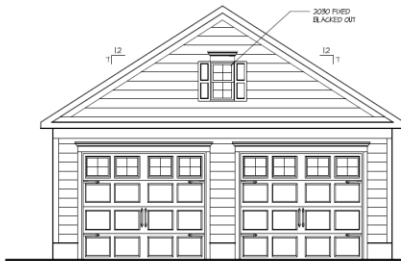
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
ALL TRIM, SIDING, AND
OTHER DETAILS TO
MATCH EXISTING HOUSE



(EXISTING HOUSE)



DATE	CHANGE
X	X
X	X
X	X
X	X
X	X
X	X

DESIGN BY:	LM
DATE:	3/4/23
PROJECT NO.	02/135

**C E RENSBERGER
AND FAMILY LLC
BUILDER**

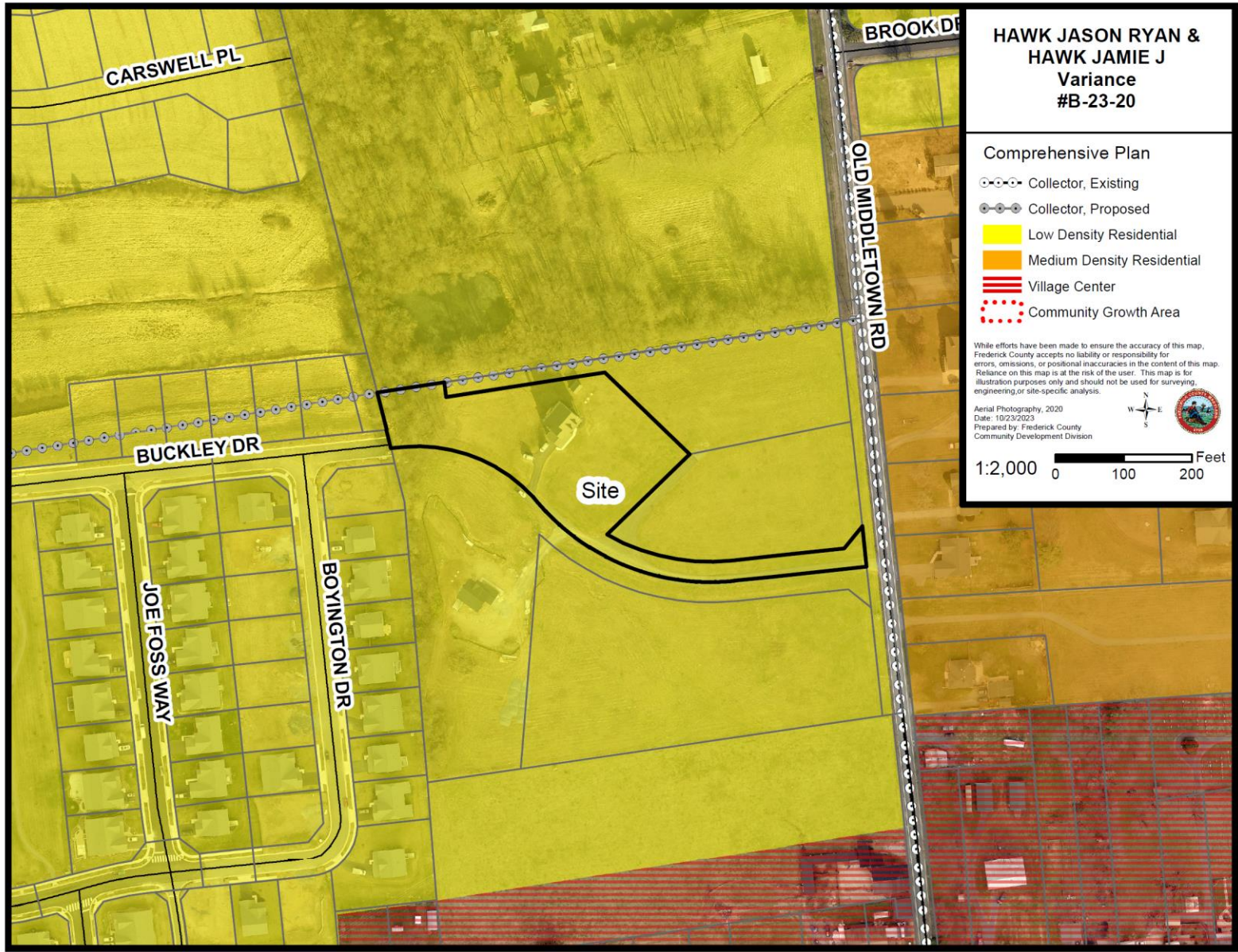
HOUSE NAME:
HANK GARAGE
DRAWING TITLE:
ELEVATIONS

SHEET No.
A.1

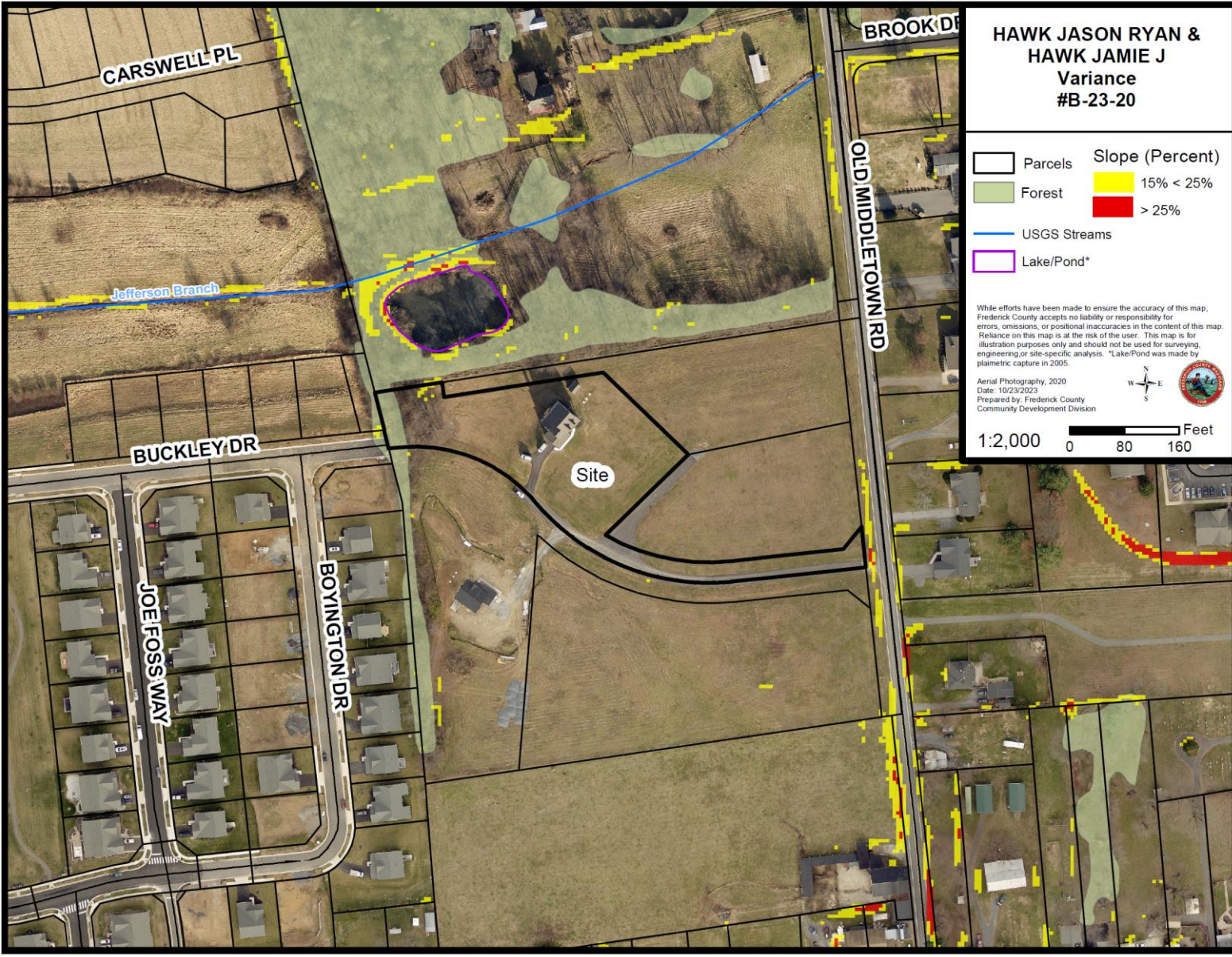
Attachment 5: Aerial Map



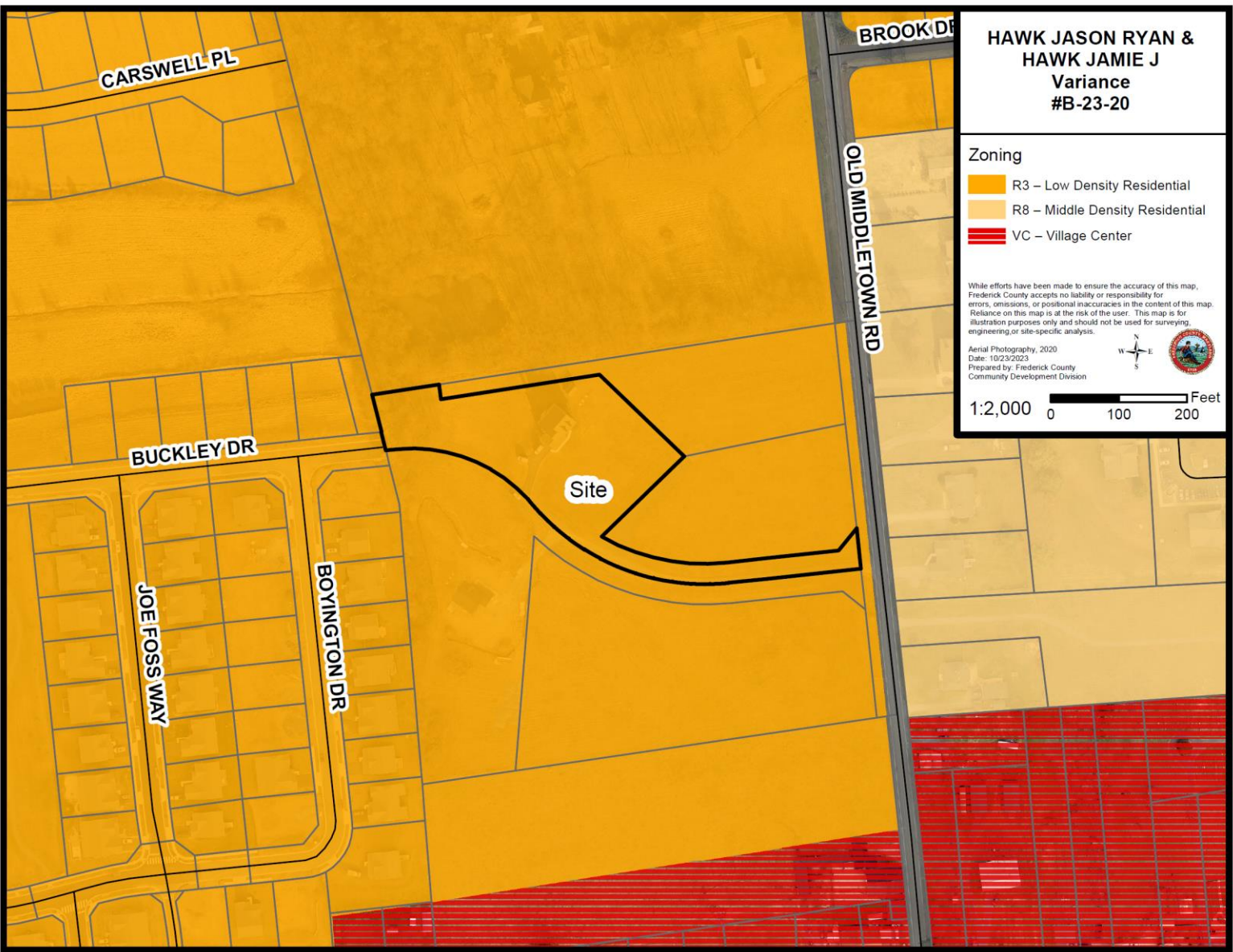
Attachment 6: Comprehensive Plan Map



Attachment 7: Environmental Features Map



Attachment 8: Zoning Map



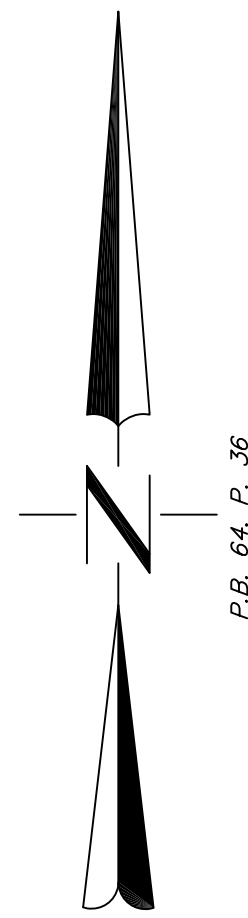
SEQUENCE OF CONSTRUCTION:

- 1) MISS UTILITY SHALL BE CONTACTED AT 1-800-257-7777 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
- 2) CONTACT THE SEDIMENT CONTROL INSPECTOR AT 301-600-3507 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION FOR A PRECONSTRUCTION MEETING.
- 3) INSTALL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, AND OTHER SEDIMENT CONTROLS. CONTACT E.C.S. BEFORE PROGRESSING FURTHER.
- 4) COMMENCE SITE GRADING, BUILDING CONSTRUCTION AND DRIVEWAY INSTALLATION.
- 5) INSTALL UTILITIES (WATER AND SEWER CONNECTIONS) & TEMPORARY/PERMANENT STABILIZATION.
- 2:1 SLOPES MUST UTILIZE TEMPORARY SOIL STABILIZATION MATTING SLOPE APPLICATION (SEE DETAIL B-4-6-B) WITH A DESIGN SHEAR STRESS > OR = 2.0 lb/ft.
- 3:1 SLOPES MUST UTILIZE TEMPORARY SOIL STABILIZATION MATTING SLOPE APPLICATION (SEE DETAIL B-4-6-B) WITH A DESIGN SHEAR STRESS > OR = 1.75 lb/ft.
- 6) INSTALL LANDSCAPING & STABILIZE SITE BY SEEDING & MULCHING.

NOTE: OWNER AND CONTRACTOR ARE TO ADD ANY EROSION AND SEDIMENT CONTROL MEASURES NEEDED DURING DISTURBANCE IN CONJUNCTION WITH PROPOSED PLAN IF ISSUES ARISE AND CONSULT SEDIMENT AND EROSION INSPECTOR FOR ANY GUIDANCE.

GEOTECHNICAL/STRUCTURAL ENGINEERING NOTE:

THE PROPOSED DESIGN HAS NOT BEEN REVIEWED OR ANALYZED BY LAVELLE & ASSOC. INC., FOR STRUCTURAL ADEQUACY FOR THIS PROJECT. THE OWNER OR DEVELOPER IS RESPONSIBLE TO EMPLOY THE SERVICES OF A GEOTECHNICAL/STRUCTURAL ENGINEER TO INVESTIGATE, TEST, AND ANALYZE THE SITE TO ENSURE IT CAN ADEQUATELY SUPPORT THE PROPOSED IMPROVEMENTS. LAVELLE & ASSOC. INC., ASSUMES NO RESPONSIBILITY OR LIABILITY FOR STRUCTURAL ADEQUACY FOR THIS PROJECT.



HOUSE DETAILS
MITCHELL RESIDENCE
PER PLAN

HOUSE DATA
FIRST FLOOR ELEV. - 578.80'

NOTES:

1. CURRENT DEED REFERENCE: L11702, F.437
2. CURRENT PLAT REFERENCE: P.B. 107, P. 9
3. EXISTING TOPOGRAPHY BASED ON FIELD SURVEY CONDUCTED BY LAVELLE & ASSOC. INC. ON 2/8/2023. TOPOGRAPHY FROM FREDERICK COUNTY PROPERTY EXPLORER HAS ALSO BEEN SHOWN.
4. LIMIT OF DISTURBANCE = 4,998 S.F.
5. THE PORTION OF THE PROPERTY SHOWN DOES NOT FALL WITHIN THE "FEMA FLOODPLAIN" PER FREDERICK COUNTY PROPERTY EXPLORER. THE PROPERTY IS SHOWN IN ZONE X (MINIMAL FLOOD HAZARD, OUTSIDE THE SFHA, OR 100-YEAR FLOOD AREA, & THE 0.2-PERCENT-ANNUAL-CHANCE, OR 500-YEAR, FLOOD). PER FEMA MAP NUMBER 24021C0400, WITH AN EFFECTIVE DATE OF SEPTEMBER 19, 2007.
6. THE PORTION OF THE PROPERTY SHOWN DOES NOT CONTAIN ANY WETLANDS, PER U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.
7. BUILDING DIMENSIONS SHOWN FOR BUILDING PERMIT USE ONLY. FOR CONSTRUCTION REFER TO ARCHITECTURAL PLANS.
8. EXISTING UTILITY LOCATION NOT KNOWN, UNLESS SHOWN.
9. NO SITE INVESTIGATIONS WERE PERFORMED AS PART OF THIS DESIGN. IT IS RECOMMENDED THAT A GEOTECHNICAL ENGINEER BE CONSULTED TO VERIFY THAT THE PROPOSED IMPROVEMENTS AS SHOWN ARE SUITABLE FOR THE SITE.
10. ALL RISERS SHOWN ARE ASSUMED TO BE 7.75' HIGH
11. A SIX (6) FOOT DRAINAGE AND UTILITY EASEMENT IS RESERVED ALONG ALL EXTERNAL LOT LINES, AND HAS NOT BEEN SHOWN.

SITE DETAILS:

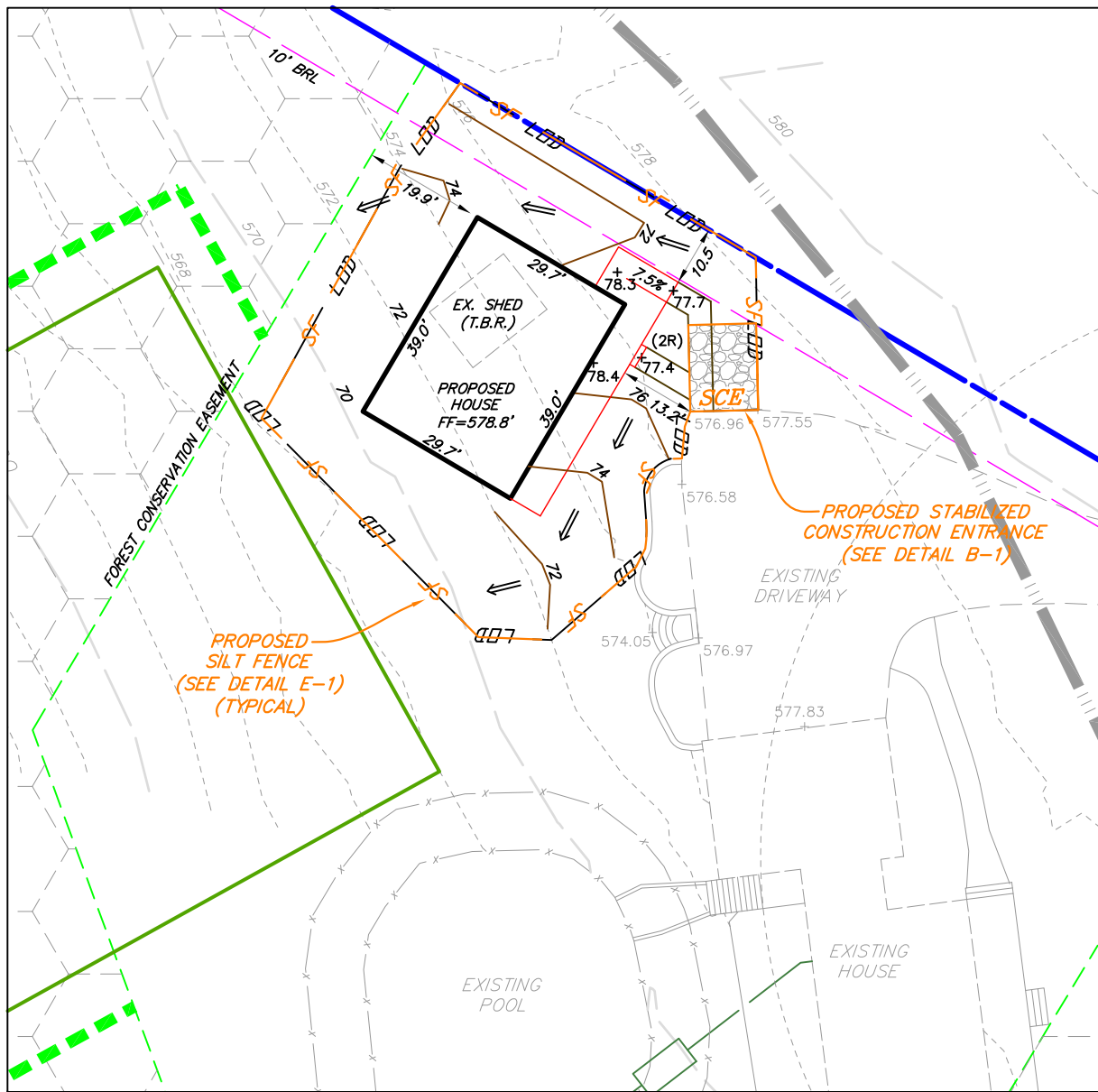
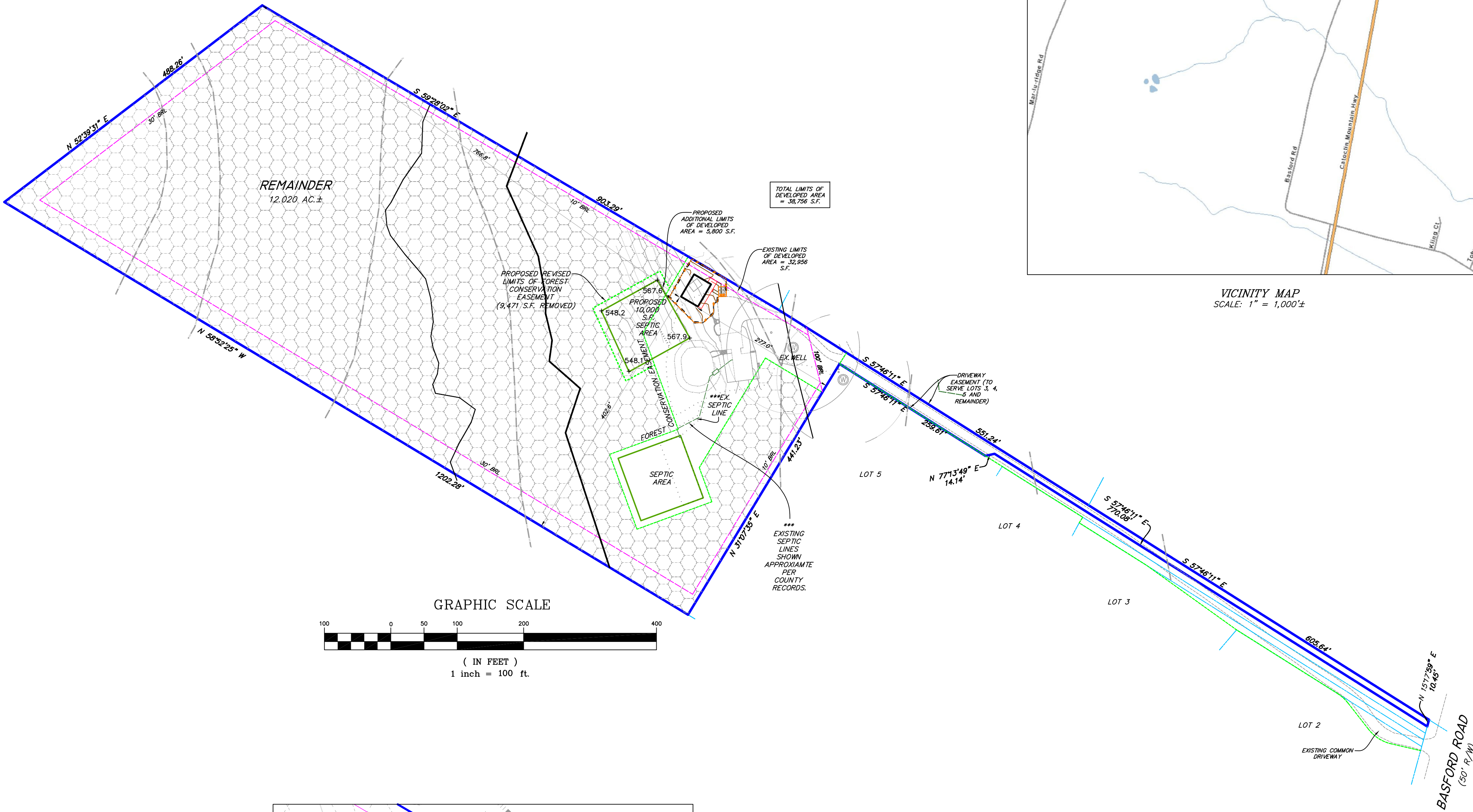
1. SITE AREA: 12,020 AC.±
2. EXISTING IMPERVIOUS AREA: 15,112 S.F.±
PROPOSED IMPERVIOUS AREA: 1,750 S.F.
3. LIMITS OF DISTURBANCE: 4,998 S.F.

STORMWATER TREATMENT METHOD:

1. STORMWATER MANAGEMENT TO BE PROVIDED USING A COMBINATION OF ROOFTOP DISCONNECT FOR THE DOWNSPOUTS & NON-ROOFTOP FOR THE PAVED SURFACES (SIDEWALK).

STORMWATER DESIGN CRITERIA:

1. SHEET FLOW MUST BE MAINTAINED IN AREAS RECEIVING DISCONNECTED RUNOFF, IF SLOPES ARE TOO STEEP (>5%), A SERIES OF TERRACES OR BERMS MAY BE USED TO MAINTAIN SHEETFLOW. THESE TERRACES MAY BE READILY CONSTRUCTED OF LANDSCAPING STONES, TIMBER, OR EARTHEN BERMS.
2. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED DURING CONSTRUCTION, SCARPING THE SURFACE OR ROTOTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.



A LICENSEE EITHER PERSONALLY PREPARED THIS SITE PLAN OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION 09.13.06.12 OF THE CODE OF MARYLAND REGULATIONS (COMAR).

OWNERS

SHAWN & LAILA BUECKERS
3370 BASFORD ROAD
FREDERICK, MD 21703

REVISIONS
8/24/2023 - PER COUNTY COMMENTS

LAVELLE & ASSOCIATES
INCORPORATED

PLANNERS • SURVEYORS

P.O. Box 372, Frederick, Maryland 21705
TEL: (301) 685-0722, FAX: (301) 685-3766

SITE PLAN

REMAINDER
HADLEY WOODS

SITUATED AT 3370 BASFORD ROAD
ELECTION DISTRICT No. 14
FREDERICK COUNTY, MARYLAND



Designed by:

Reg. No. 21701, Exp. 6/11/2025

FIELD DATE: 2/8/2023

DRAWING DATE: 4/7/2023

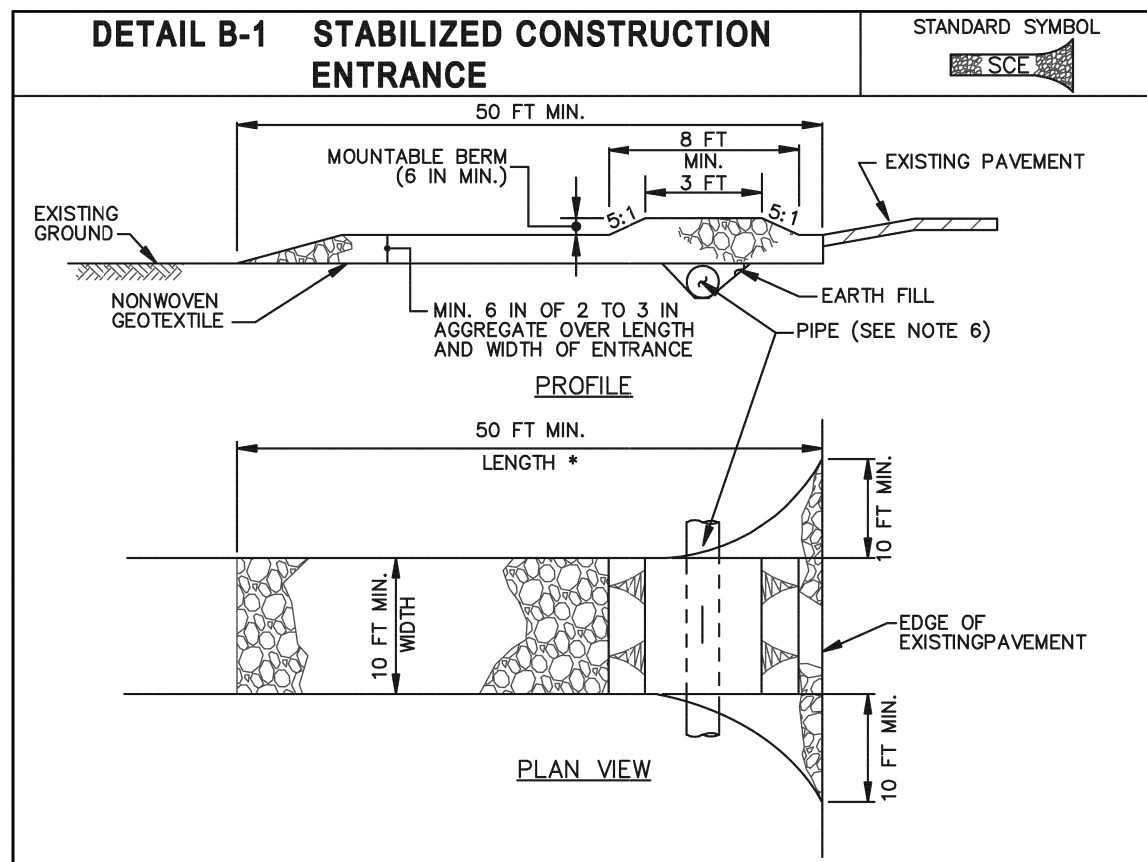
SCALE: 1" = 100'

PROJ. No. 22-127

FILE: LP3\Hadley Woods Remainder\lwk.dwg

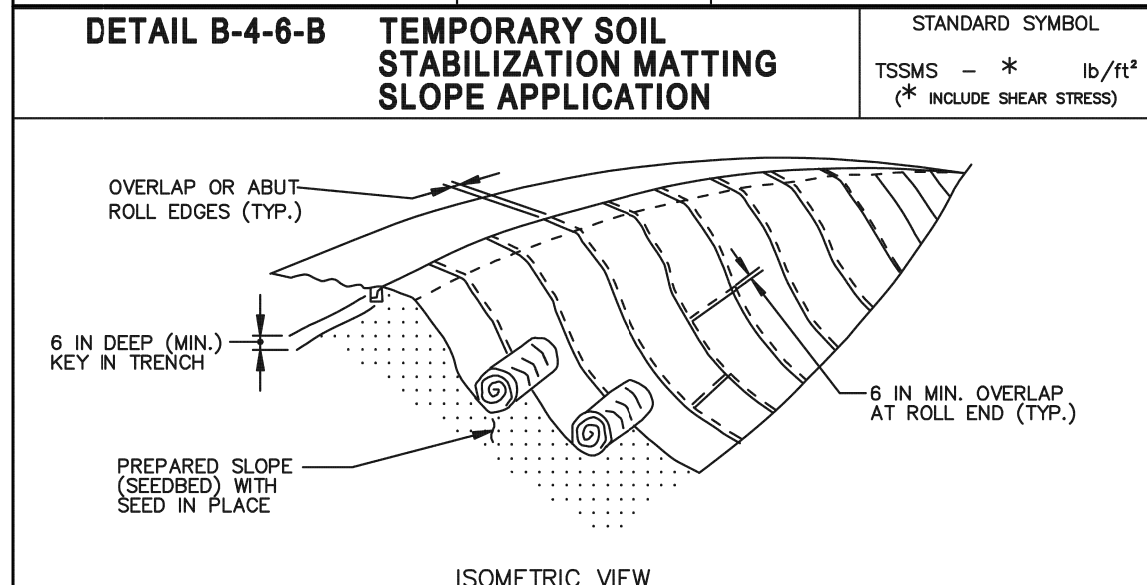
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PAGE 1 OF 2



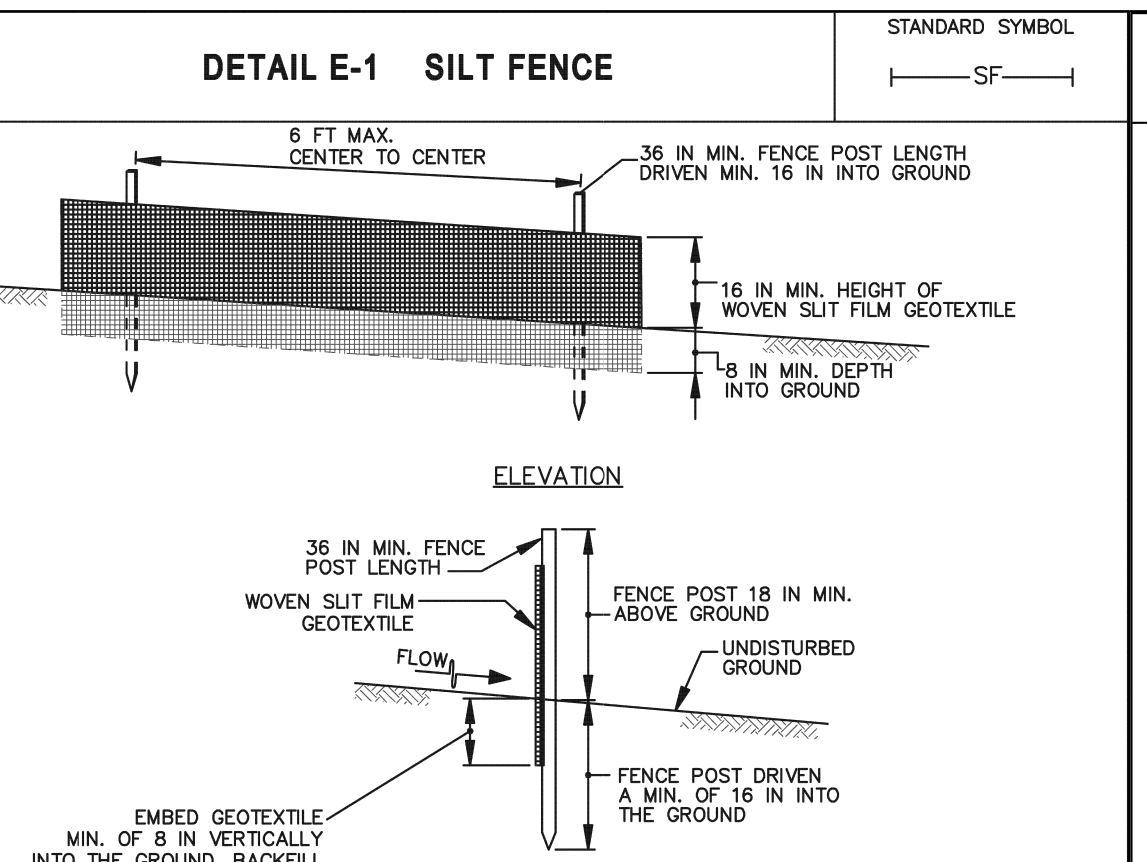
- CONSTRUCTION SPECIFICATIONS**
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (430 FEET FOR SINGLE RESIDENTIAL LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE TO 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
 3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
 4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BERM, SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL			
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	



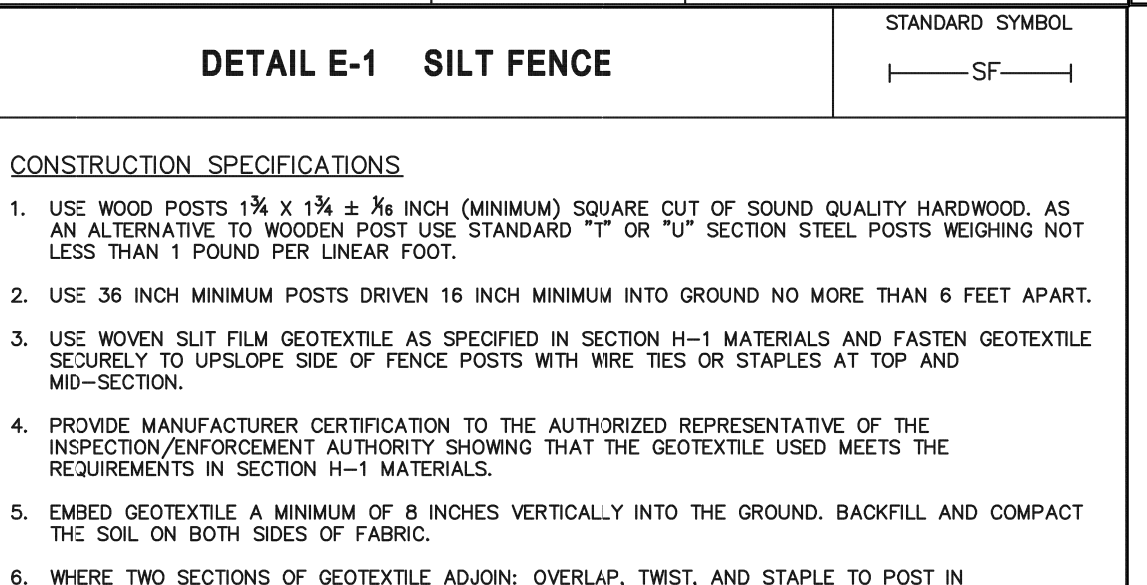
- CONSTRUCTION SPECIFICATIONS**
1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
 2. USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-DAUNTING TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
 3. SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
 4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION & SEDIMENT CONTROL PLAN.
 5. UNROLL MATTING DOWNSLOPE. LAY MAT SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
 6. OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
 7. KEY IN THE UPSLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
 8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
 9. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL			
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	



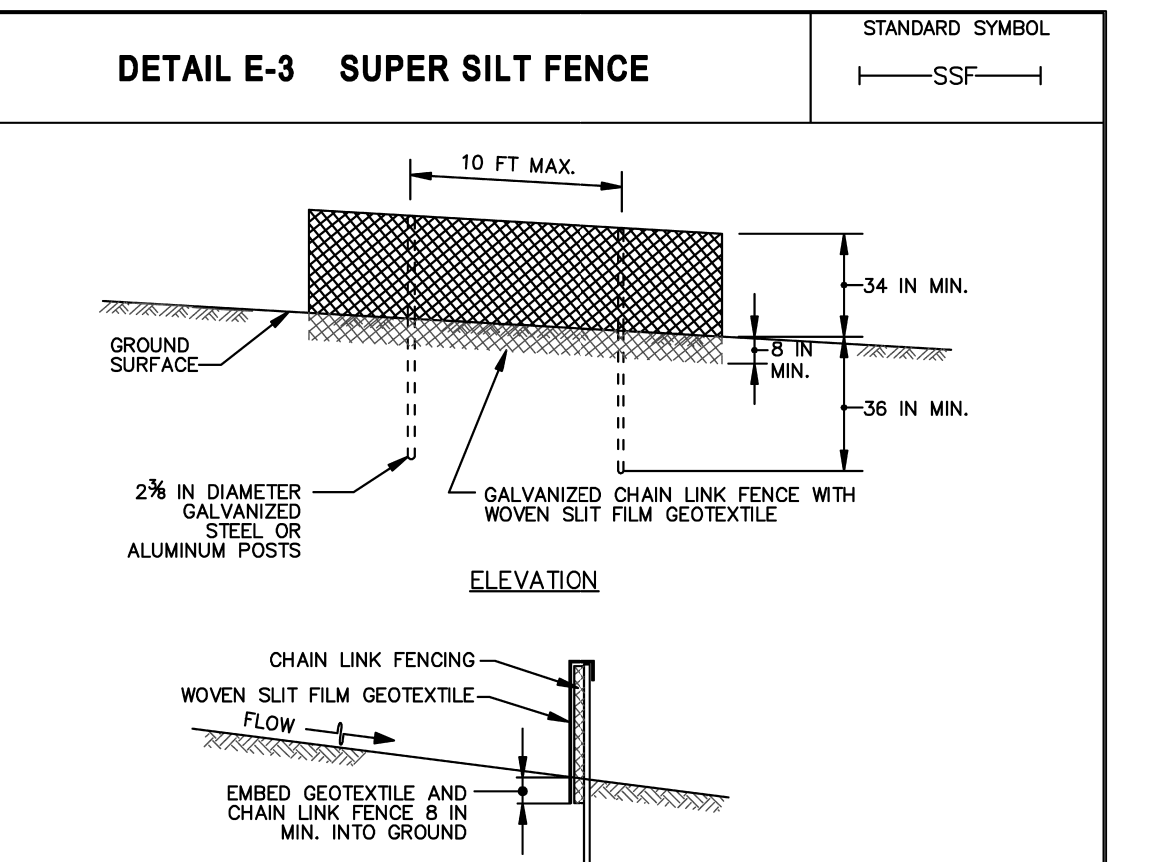
- CONSTRUCTION SPECIFICATIONS**
1. USE WOOD POSTS 1 1/2 x 1 1/2 x 3/4 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
 2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 3. USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
 4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
 8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL			
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	



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 2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 3. USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
 4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
 8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL			
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	



- CONSTRUCTION SPECIFICATIONS**
1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
 2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
 3. FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
 4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
 5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
 6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL			
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	

- STANDARD STABILIZATION NOTE**
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
- A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON PROJECT SITE NOT UNDER ACTIVE GRADING.
- SEDIMENT AND EROSION CONTROL NOTES**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN CONTINUOUS COMPLIANCE WITH THE LATEST VERSION OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 2. ALL UTILITIES, SUCH AS: STORM DRAIN, PUBLIC WATER, SANITARY SEWER, ELECTRIC POWER, TELEPHONE, CABLE AND GAS LINES, THAT ARE NOT IN PAVED AREAS AND ARE NOT UNDERGOING ACTIVE GRADING SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 3 DAYS OF INITIAL DISTURBANCE.
 3. THE OWNER/DEVELOPER OR THEIR DESIGNATE IS RESPONSIBLE FOR CONDUCTING ROUTINE INSPECTIONS AND REQUIRED MAINTENANCE. THE SITE AND CONTROLS SHOULD BE INSPECTED WEEKLY AND THE NEXT DAY AFTER EACH RAIN EVENT**. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN A SUITABLE AREA AND SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED.
- ** ANY PROJECT THAT HAS A STATE ISSUES N.O.I. PERMIT MUST DOCUMENT EACH INSPECTION AND MAINTAIN AN INSPECTION LOG [PLEASE SEE THE N.O.I. FOR DETAILS.]

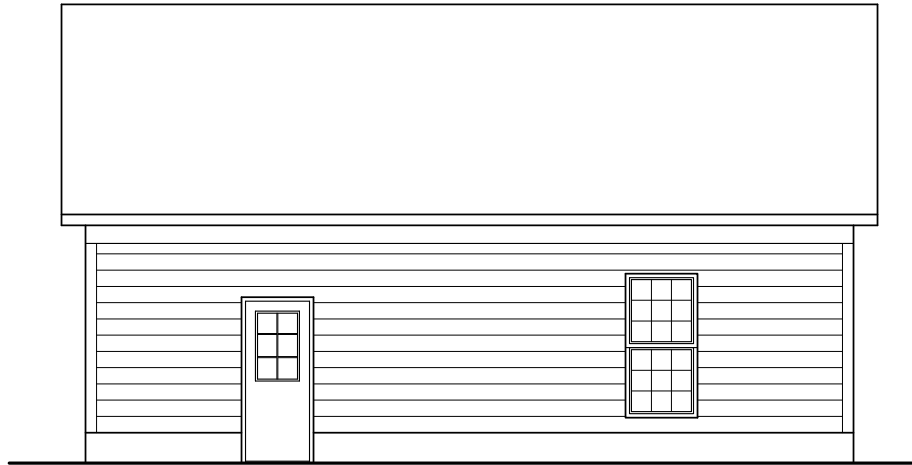
B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- Definition** - The application of seed and mulch to establish vegetative cover.
- Purpose** - To protect disturbed soils from erosion during and at the end of construction.
- Conditions Where Practice Applies** - To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.
- Criteria**
- A. Seeding
 1. Specifications
 - a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
 - b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
 - c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
 - d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 2. Application
 - a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
 - i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
 - ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
 - b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeded must be firm after planting.
 - ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
 - c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
 - i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P205 (phosphorus), 200 pounds per acre; K20 (potassium), 200 pounds per acre.
 - ii. Liming may be applied on only ground indicated on the container. Liming may be applied by hydroseeding. Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - iii. Mix seed and fertilizer on site and seed immediately and without interruption.
 - iv. When hydroseeding do not incorporate seed into the soil.
 - B. Mulching
 1. Mulch Materials (in order of preference)
 - a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
 - b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
 - i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
 - ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
 - iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like growth cover on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
 - iv. WCFM material must not contain elements or compounds at concentration levels that will be phytotoxic.
 - v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.
 2. Application
 - a. Apply mulch to all seeded areas immediately after seeding.
 - b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
 - c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to obtain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 3. Anchoring
 - a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard.
 - i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
 - ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 - iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DGA-70, Petrosel, Terra Tax II, Terra Tack AP or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.
 - iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

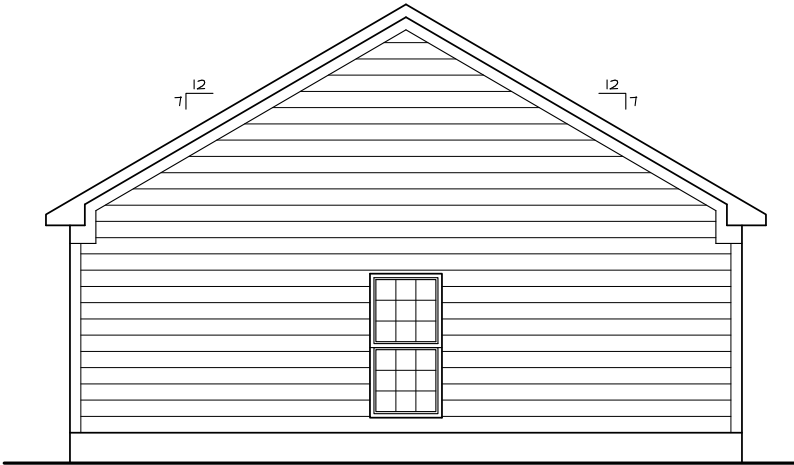
REVISIONS

LAVELLE & ASSOCIATES INCORPORATED
PLANNERS • SURVEYORS
P.O. Box 379, Frederick, Maryland 21705
TEL: (301) 884-9722, FAX: (301) 685-3766

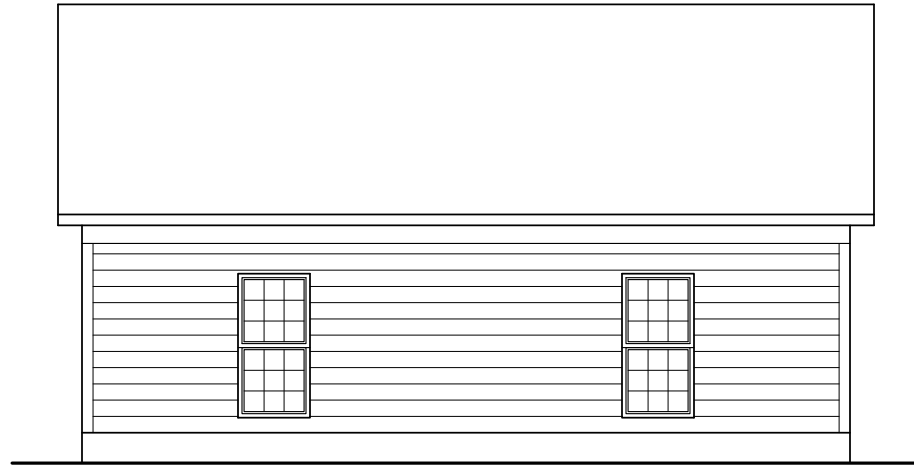
SITE PLAN
REMAINDER
HADLEY WOODS
SITUATED AT 3370 BASFORD ROAD
ELECTION DISTRICT No. 14
FREDERICK COUNTY, MARYLAND



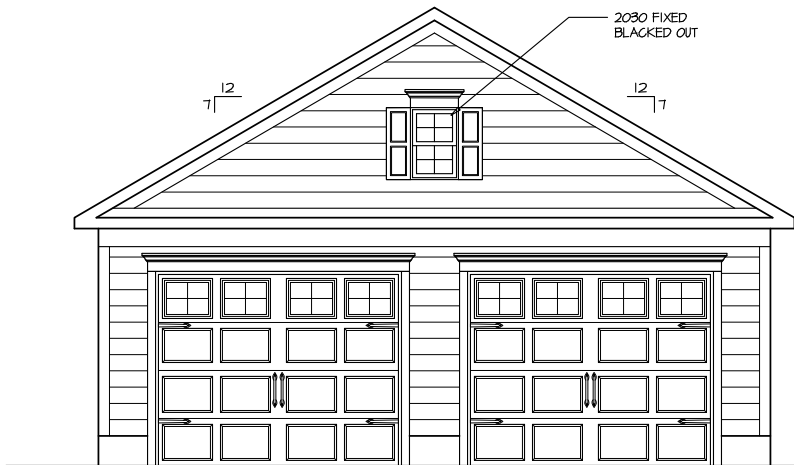
1 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



1 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
ALL TRIM, SIDING, AND
OTHER DETAILS TO
MATCH EXISTING HOUSE



(EXISTING HOUSE)

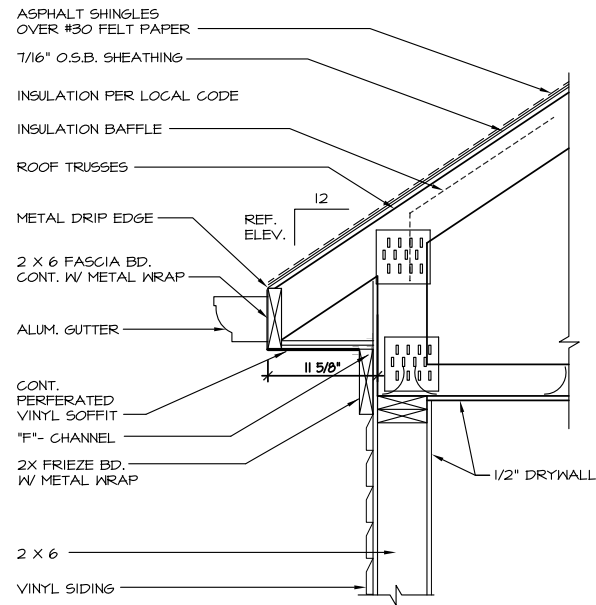
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DATE	X	X	X	X	X	X

DRAWN BY:
LBM
DATE:
5/4/23
PROJECT NO.
007135

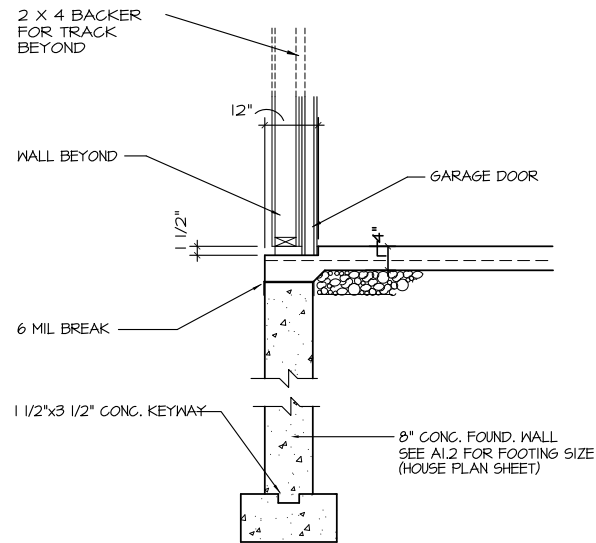
C E RENSBERGER
AND FAMILY LLC
BUILDER

HOUSE NAME:
HANK GARAGE
DRAWING TITLE
ELEVATIONS

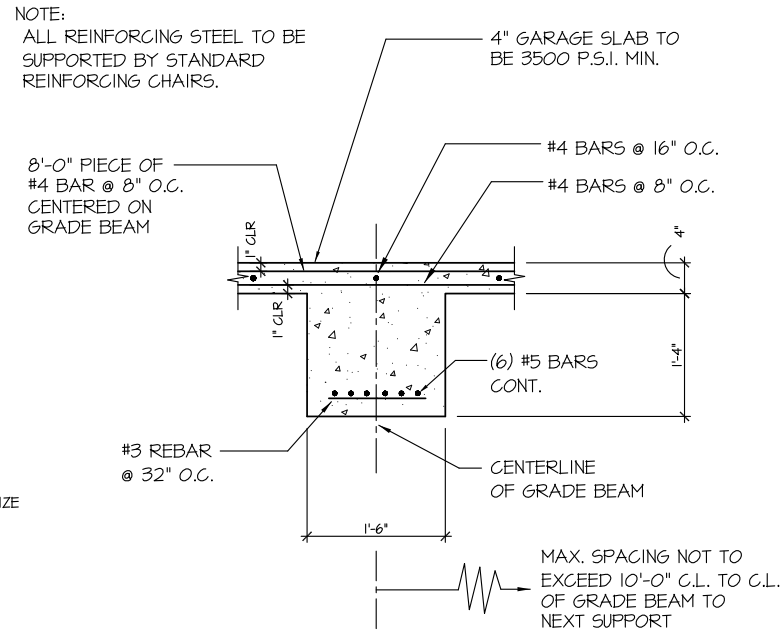
SHEET No.
A.1



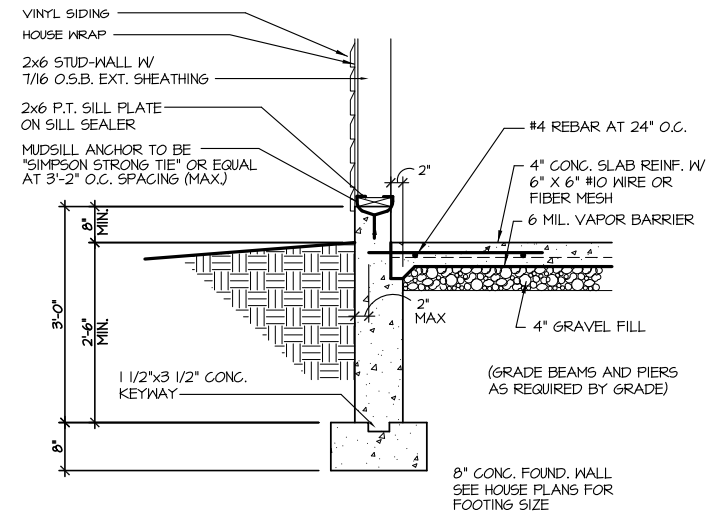
TYPICAL EAVE DETAIL



GARAGE WEATHER LIP



GARAGE FOUNDATION
GRADE BEAM



TYPICAL FOUNDATION DETAIL

FOUNDATION DESIGN SCHEDULE

MINIMUM FOUNDATION WALL THICKNESS AND REINFORCING - ACI-332-14								
MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UN-BALANCED BACKFILL HEIGHT (FEET)	SOIL CLASSES AND DESIGN LATERAL SOIL (PSF PER FOOT OF DEPTH)						
		GM, GP, SM, AND SP (30 PSF / FT)	GM, GC, SM, SM-SC AND MIL (45 PSF / FT)	SC, ML-CL, AND INORGANIC CL (60 PSF / FT)				
		MINIMUM WALL THICKNESS (NOMINAL)						
		8"	10"	8"	10"	8"	10"	12"
8	6 7	PC	PC	PC	PC	#6@37"	PC	PC
		#6@36"	PC	#6@36"	PC	#6@35"	PC	PC
9	7 8	PC	PC	#6@35"	PC	#6@32"	#6@31"	PC
		#6@36"	PC	#6@28"	#6@31"	#6@23"	#6@28"	#4@48"
10	8 9	#6@35"	PC	#6@29"	#6@28"	#6@21"	#6@28"	#6@45"
		#6@34"	#6@33"	#6@22"	#6@28"	#6@16"	#6@21"	#6@34"

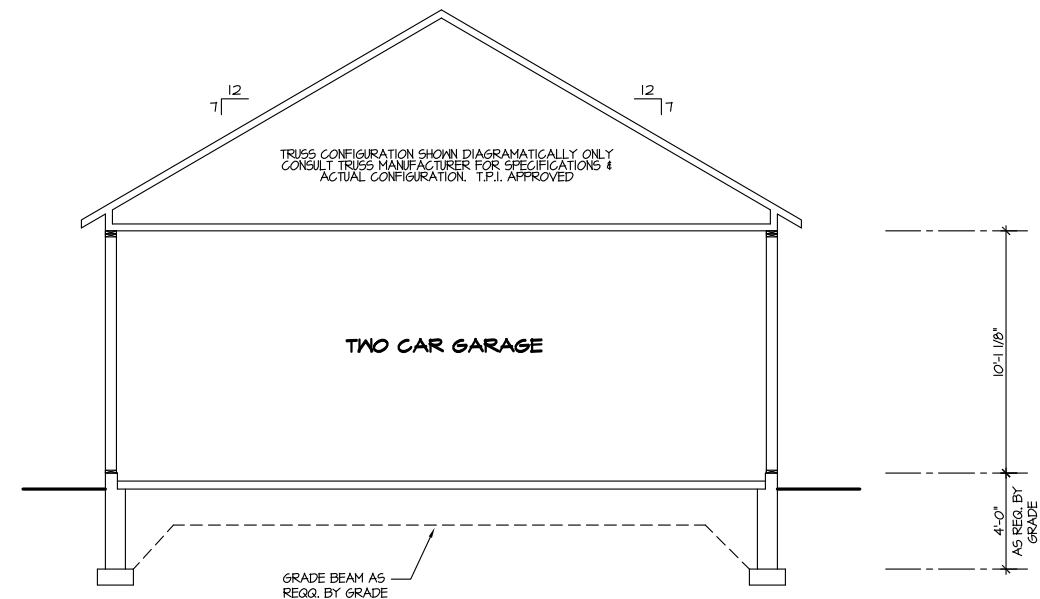
NOTE: 1. MINIMUM 10" WALL THICKNESS REQUIRED WITH BRICK VENEER
2. PC = PLAIN IN-REINFORCED CONCRETE WALL
3. CONCRETE SHALL BE MINIMUM 3000 PSI, AIR ENTRAINED
4. REINFORCING TO BE MINIMUM 40 KSI PLACED 1 1/2" FROM INSIDE WALL FACE
5. FOR GRAVEL SPACE CONDITIONS 6" PC MAX HEIGHT OF 6' W/ 4' OF BACKFILL (ALL SOILS)

PERIMETER SPREAD FOOTINGS

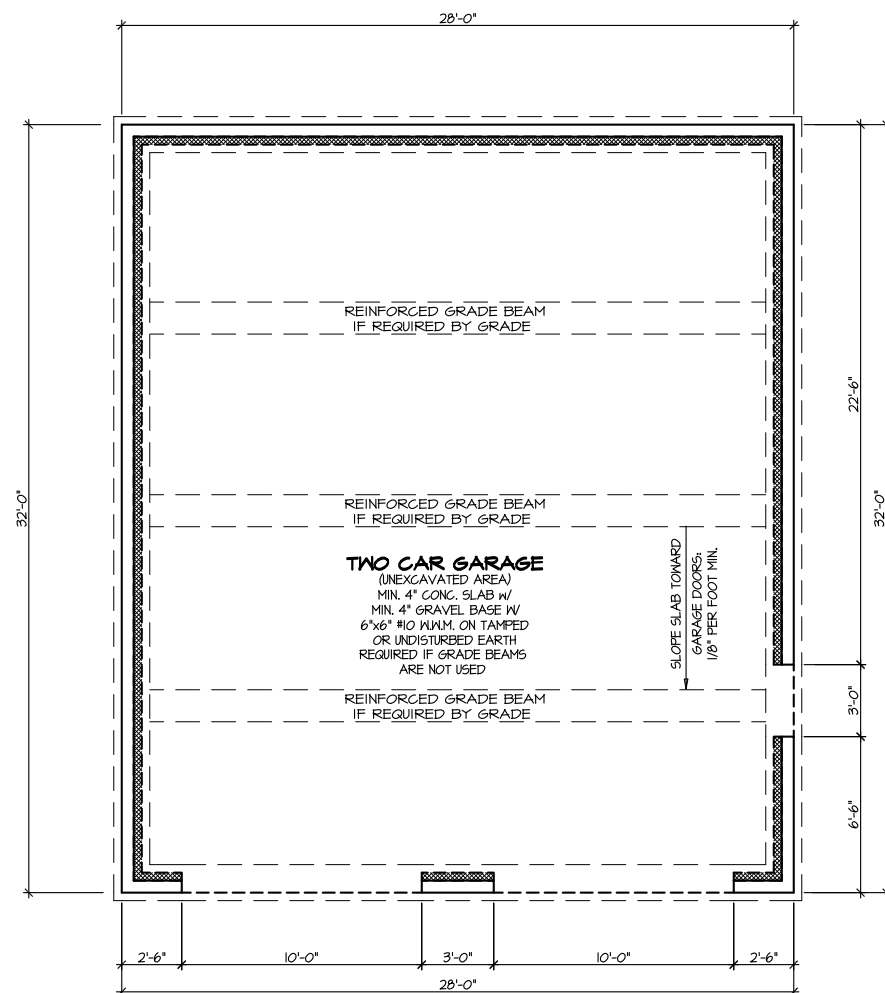
SUPPORTING	1500# PSF SOIL	2000# PSF SOIL	3000# PSF SOIL
1 FLOOR AND BASEMENT	19"	14"	12"
2 FLOORS AND BASEMENT	23"	17"	12"
3 FLOORS SLAB ON GRADE	15"	12"	12"
1 FLOOR AND BASEMENT W/ BRICK	22"	16"	12"
2 FLOORS AND BASEMENT W/ BRICK	24"	21"	14"
3 FLOORS SLAB ON GRADE W/ BRICK	32"	24"	16"

BASED ON 32" WIDE HOME WITH LOAD BEARING CENTER WALL
THAT CARRIES HALF OF THE TRIBUTARY ATTIC AND FLOOR FRAMING.
FOR EVERY 2'-0" OF ADJUSTMENT TO THE WIDTH OF THE HOME, ADD
OR SUBTRACT 2" OF FOOTING WIDTH AND 1" OF FOOTING THICKNESS
(BUT NOT LESS THAN 6" THICK).

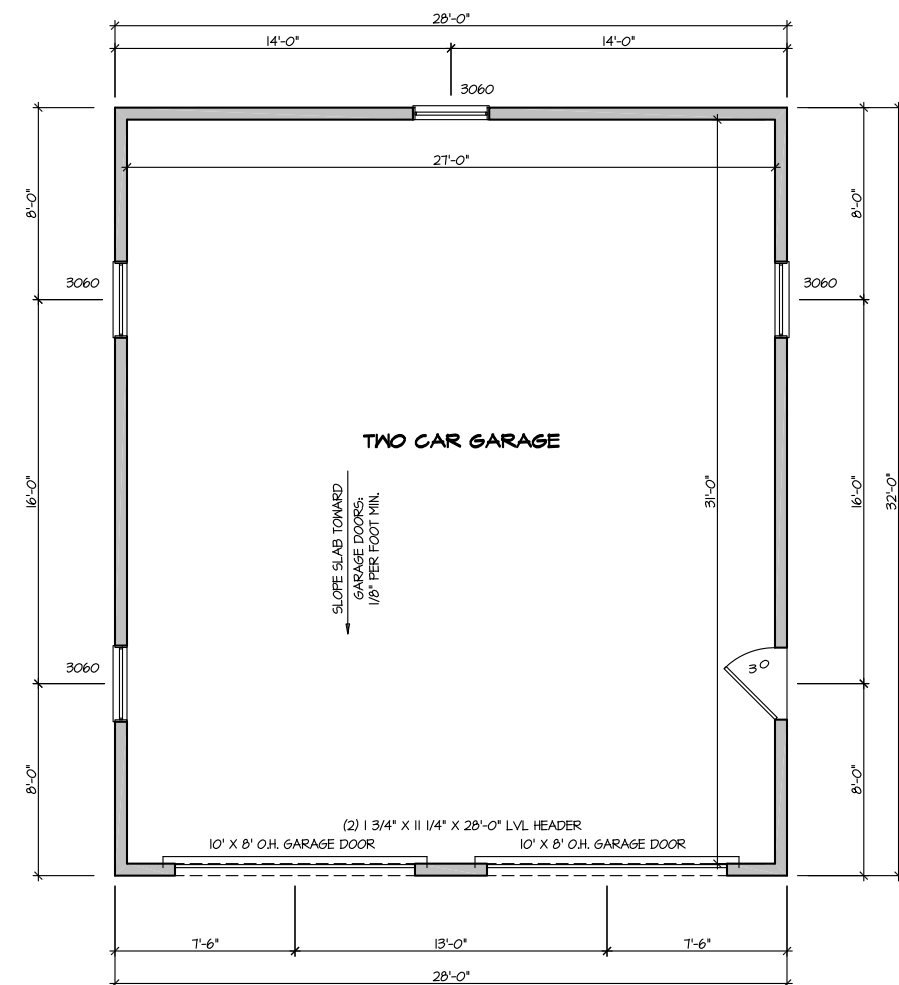
PROVIDE 2 #4 REBAR CONT. W/ #3 TIES @ 36" O.C. IF NO
GEOTECHNICAL EVALUATION PERFORMED.



BUILDING SECTION
SCALE: 1/4" = 1'-0"



 **FOUNDATION PLAN**
SCALE: 1/8" = 1'-0"



 **FIRST FLOOR PLAN**
SCALE: 1/8" = 1'-0"

NOTES:

DIMENSIONS ARE FROM OUTSIDE
FACE OF STUD:

EXTERIOR WALLS ARE SHOWN AS
6" (2"x6" STUDS @ 16" O.C. PLUS 1/2"
SHEATHING) UNLESS NOTED OTHERWISE.

SIZING/SPACING OF ALL PRE-ENGINEERED
WOOD FRAMING PRODUCTS (MICROLAMS,
PARALLAMS, AND FLOOR/ROOF TRUSSES)
TO BE ENGINEERED/VERIFY BY THE
MANUFACTURER.

ALL WOOD FRAMING SHALL BE
S.P.F. #2 OR BETTER.

ALL WORK TO BE DONE TO COMPLY WITH ALL APPLICABLE CODES.

[illegible]

AWN BY:	LBM
DATE:	5/4/23
OBJECT NO.	007135

**C E RENSBERGER
AND FAMILY LLC
BUILDER**

HANK GARAGE

DRAWING TITLE

FLOOR PLANS

SHEET No.

43.1

ENERGY EFFICIENCY
2018 IECC

CODE SECTION		STANDARD (MINIMUM)
R301.1	CLIMATE ZONE	4A
R401.2	COMPLIANCE METHOD	* MANDATORY AND PRESCRIPTIVE PROVISIONS
R402.1.1	VAPOR RETARDER	WALL ASSEMBLIES IN THE BLDG THERMAL ENVELOPE SHALL COMPLY W/ VAPOR RETARDER REQUIREMENTS OF SECTION R702.1 OF THE IRC, 2018 EDITION
R402.1.2	ATTIC INSULATION	ATTIC INSULATION: R-49, RAISED HEEL TRUSSES: R-38
R402.1.2	WOOD FRAMED WALL	R-20 OR R-13 + R-5 CONTINUOUS INSULATION
R402.1.2	BASEMENT WALL INSULATION	R-13 / R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT
R402.1.2	CRAWL SPACE WALL INSUL.	R-13 / R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"
R402.1.2	FLOOR INSULATION OVER UNCONDITIONED SPACE	R-19 BATT INSULATION
R402.1.2	WINDOW U-VALUES / SHGC	0.35 (U-VALUE) & 0.40 (SHGC)
R402.2.10	SLAB ON GRADE FLOOR 42" BELOW GRADE	R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY
R402.2.4	ATTIC ACCESS	ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-44
R402.4	BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC W/ CAULK, GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BTWN DISSIMILAR SHALL ALLOW FOR DIFFERENT EXPANSION AND CONTRACTION
R402.4.12	BUILDING THERMAL ENVELOPE (TIGHTNESS TEST)	BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE W/ ASTM E 779 OR ASTM 1827 W/ (BLOWER DOOR) AT A PRESSURE OF 0.2 MG. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED 3RD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR
R402.4.2	FIREPLACES	NEW WOOD BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS AND OUTDOOR COMBUSTION AIR. FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 (FACTORY BUILT FIREPLACES) AND UL 907 (MASONRY FIREPLACES)
R402.4.4	ROOMS CONTAINING FUEL BURNING APPLIANCES	WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BLDG THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE. EXCEPTIONS: 1 - DIRECT VENT APPLIANCES W/ BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE 2 - FIREPLACES AND STOVES COMPLYING W/ SECTION R402.4.2 AND SECTION R1006 OF THE IRC.
R402.4.5	RECESSED LIGHTING	RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE
R403.1.1	THERMOSTAT	ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2018 IECC SECTION 403.1.1
R403.1.2	HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY)	WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED, THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD
R403.3.1	MECHANICAL DUCT INSULATION	SUPPLY AND RETURN DUCTS IN ATTIC R-8 MIN, R-6 WHEN LESS THAN 3". SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-8 MIN. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BLDG THERMAL ENVELOPE R-6 MIN. DUCTS LOCATED UNDER CONC SLABS R-6 MIN.
R403.3.2	DUCT SEALING	ALL DUCTS, AIR HANDLERS, FILTER BOXED WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4.1 OF THE IRC A DUCT TIGHTNESS TEST ("DUCT BLASTER" - DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE
R403.6	MECHANICAL VENTILATION	OUTDOOR (MAKE-UP AND EXHAUST) AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OF GRAVITY DAMPER THAT CLOSES WHEN THE VENTILATION SYSTEM IS NOT OPERATING
R403.6.1	WHOLE HOUSE MECH. VENT SYSTEM FAN EFFICACY	TO COMPLY WITH TABLE R403.6.1
R403.7	EQUIPMENT SIZING	TO COMPLY WITH R403.7
R404.1	LIGHTING EQUIPMENT	A MINIMUM OF 90% OF ALL LAMPS (LIGHTS) MUST BE HIGH EFFICIENCY LAMPS
	WATER HEATER	MINIMUM EFFICIENCY ESTABLISHED BY NAECA
	MECHANICAL TESTING	ALL MECHANICAL TESTING TO BE BY: THIS CONTRACTOR ALSO IS RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6'-0" OF THE ELECTRICAL PANEL AND BE READILY VISIBLE

NOTE: *ALTERNATIVE COMPLIANCE BY PERFORMANCE ALTERNATIVE WHEN PREPARED BY ENERGY PROFESSIONAL (ENERGY ANALYSIS OR UA ALTERNATIVE) OR ERI OF 54 OR LESS

** R-38 IS DEEMED SATISFACTORY WHEN FULL UNCOMPRESSED THICKNESS OF R-38 IS MAINTAINED OVER TOP PLATE AND AT THE EAVES. (REQUIRES MIN. 14" HEELS)

BUILDER CONTRACTOR SHALL CONFIRM WITH LOCAL JURISDICTION SPECIFIC REQUIREMENTS FOR DOCUMENTATION AND / OR CERTIFICATION OF COMPLIANCE

PROJECT DESIGN DATA

APPLICABLE STANDARDS

THE FOLLOWING DATA AND ACCOMPANYING SPECIFICATIONS ARE BASED ON THE GENERAL REQUIREMENTS OF THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, AND ALL STATE AND LOCAL JURISDICTION AMENDMENTS. THEY ARE INTENDED TO BE APPLICABLE ONLY TO DETACHED ONE AND TWO FAMILY DWELLINGS AND MULTIPLE, ATTACHED SINGLE-FAMILY DWELLINGS, NOT MORE THAN THREE STORIES IN HEIGHT (EXCLUDING BASEMENTS) WITH SEPARATE, INDEPENDENT MEANS OF EGRESS. TWO-FAMILY DWELLINGS SHALL BE COMPLETELY SEPARATED FROM EACH OTHER BY A ONE-HOUR FIRE RATED WALL OR FLOOR SEPARATION ASSEMBLY. TOWNHOUSE DWELLINGS SHALL BE SEPARATED BY A MINIMUM COMMON ONE-HOUR FIRE RATED WALL ASSEMBLY. NFPA-13D FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ALL DWELLINGS.

BUILDING CRITERIA

RESIDENTIAL SINGLE FAMILY CONSTRUCTION TYPE	(R-3) V-B (5-B)
MATE & GEOGRAPHIC DESIGN CRITERIA	
FLOOR LIVE LOAD	40 PSF
ROOF LIVE LOAD	30 PSF
SNOW LOAD (Pg)	35 PSF
WIND SPEED ULTIMATE	115 MPH, EXPOSE C
ATTICS WO STORAGE	10 PSF
ATTICS W/ STORAGE	20 PSF
HABITABLE ATTICS	30 PSF
STAIRS	40 PSF
DECKS & BALCONIES (EXT)	40 PSF
GUARD & HANDRAILS	200# (CONT. AND DIR.
INFILL GUARDS	50# PER 1 SF
SEISMIC CATEGORY	B
(LIGHT FRAME STRUCTURAL SYSTEM WITH SHEAR WALLS)	
CONCRETE WEATHERING	SEVERE
TERMITE INFESTATION	MODERATE TO HEAVY
DECAY PROBABILITY	MODERATE
ICE UNDERLAYMENT	YES
FROST DEPTH	32"
NOTE: VALUES SHOWN ARE MINIMUM - CONFIRM WITH LOCAL CODE OFFICIAL PRIOR TO CONSTRUCTION	

CLIMATE & GEOGRAPHIC DESIGN CRITERIA

LISTED ASSEMBLIES (WHERE APPLICABLE)

1-HOUR RATING

- UL #J305 (WALL)
- UL #L534 (OPEN WEB FLOOR TRUSSES)
- UL #L544 (1-JOIST)
- UL #L512 (MIN. 2X10 JOIST)

2-HOUR RATING

- UL #J334 (SINGLE WALL)
- FM #WP360 (DOUBLE WALL)
- UL #J336 (SHAFT WALL)

WIND BRACING

COMPLIANCE FOR WIND BRACING AS SPECIFIED IN THE IRC - R602.10 HAD BEEN SATISFIED BY "CONTINUOUS SHEATHED WOOD STRUCTURAL PANELS" (CS-WSP) AND ENGINEERED ALTERNATIVE METHODS AS REQUIRED. REFER TO DRAWINGS FOR SPECIFIC REQUIREMENTS.

FIRE RESISTANT CONSTRUCTION (REQUIRED)

EXTERIOR WALLS > 3' FIRESEPARATION DISTANCE	0 HOUR
EXTERIOR WALLS < 3' FIRESEPARATION DISTANCE	1 HOUR
DWELLING UNIT SEPARATION (MINIMUM)	1 HOUR
REFER TO DRAWINGS FOR SPECIFIC REQUIREMENTS	



**DESIGN
CONCEPTS**

WWW.FRANKLOLLI.COM

[illegible]

DRAWN BY:	LBM
DATE:	5/4/23
PROJECT NO.	007135

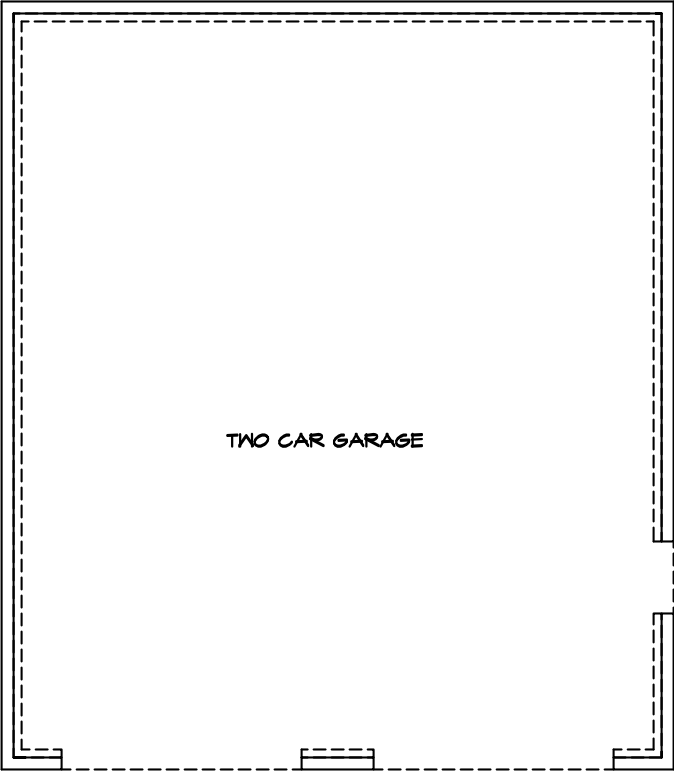
**C E R N S B E R G E R
A N D F A M I L Y L L C
B U I L D E R**

HOUSE NAME: **HANK GARAGE**

DRAWING TITLE
NOTE SHEET

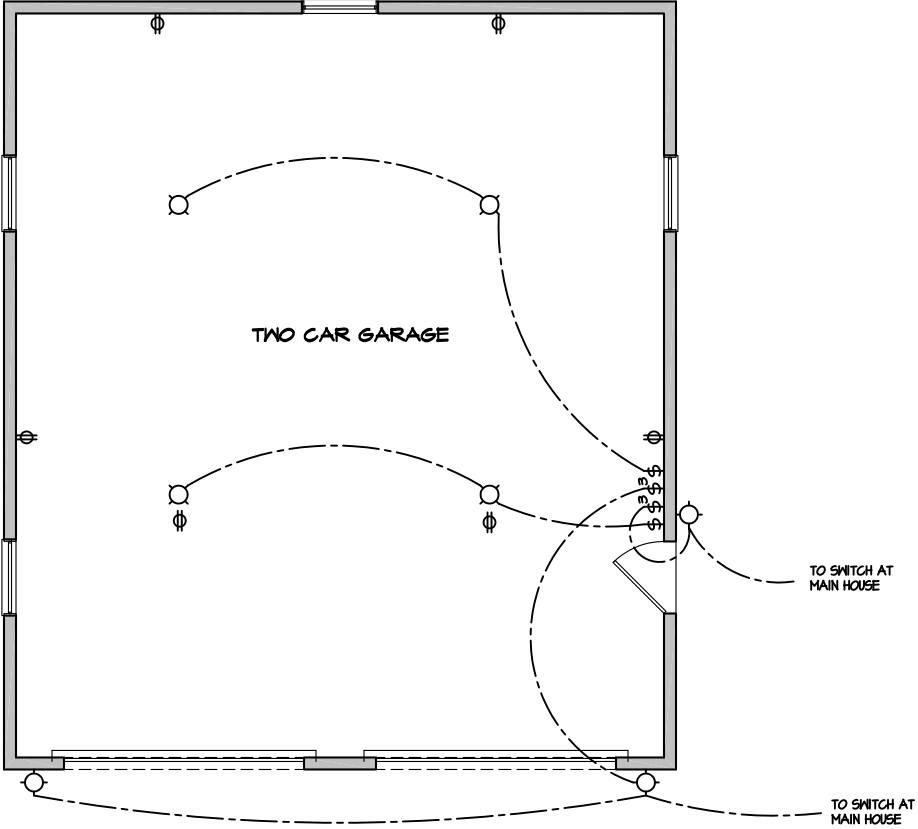
SHEET No.

NE



TWO CAR GARAGE

ELECTRICAL LEGEND	
⌘	SINGLE POLE SWITCH
⌘	THREE WAY SWITCH
⌘	FOUR WAY SWITCH
⌘	DUPLEX RECEPTACLE
⌘	DUPLEX RECEPTACLE - BOTTOM HALF SWITCHED
⌘	DUPLEX RECEPTACLE - FLOOR MOUNTED
⌘	RECEPTACLE - 220V
⌘	DUPLEX RECEPTACLE
⌘	DUPLEX RECEPTACLE
⌘	SMOKE DETECTOR - WIRED IN SERIES
⌘	CO2 DETECTOR
⌘	EXHAUST FAN MOTOR
⌘	EXHAUST FAN / LIGHT COMBO
⌘	DOOR CHIME
⌘	LIGHT FIXTURE - WALL MOUNTED
⌘	LIGHT FIXTURE - CEILING MOUNTED
⌘	LIGHT FIXTURE - HANGING
⌘	LIGHT FIXTURE - RECESSED
⌘	LIGHT FIXTURE - LED DISC
⌘	LIGHT FIXTURE - EYEBALL RECESSED
⌘	FULLCHAIN LAMPHOLDER
⌘	KEYLESS LAMPHOLDER
⌘	CABLE TV
⌘	TELEPHONE



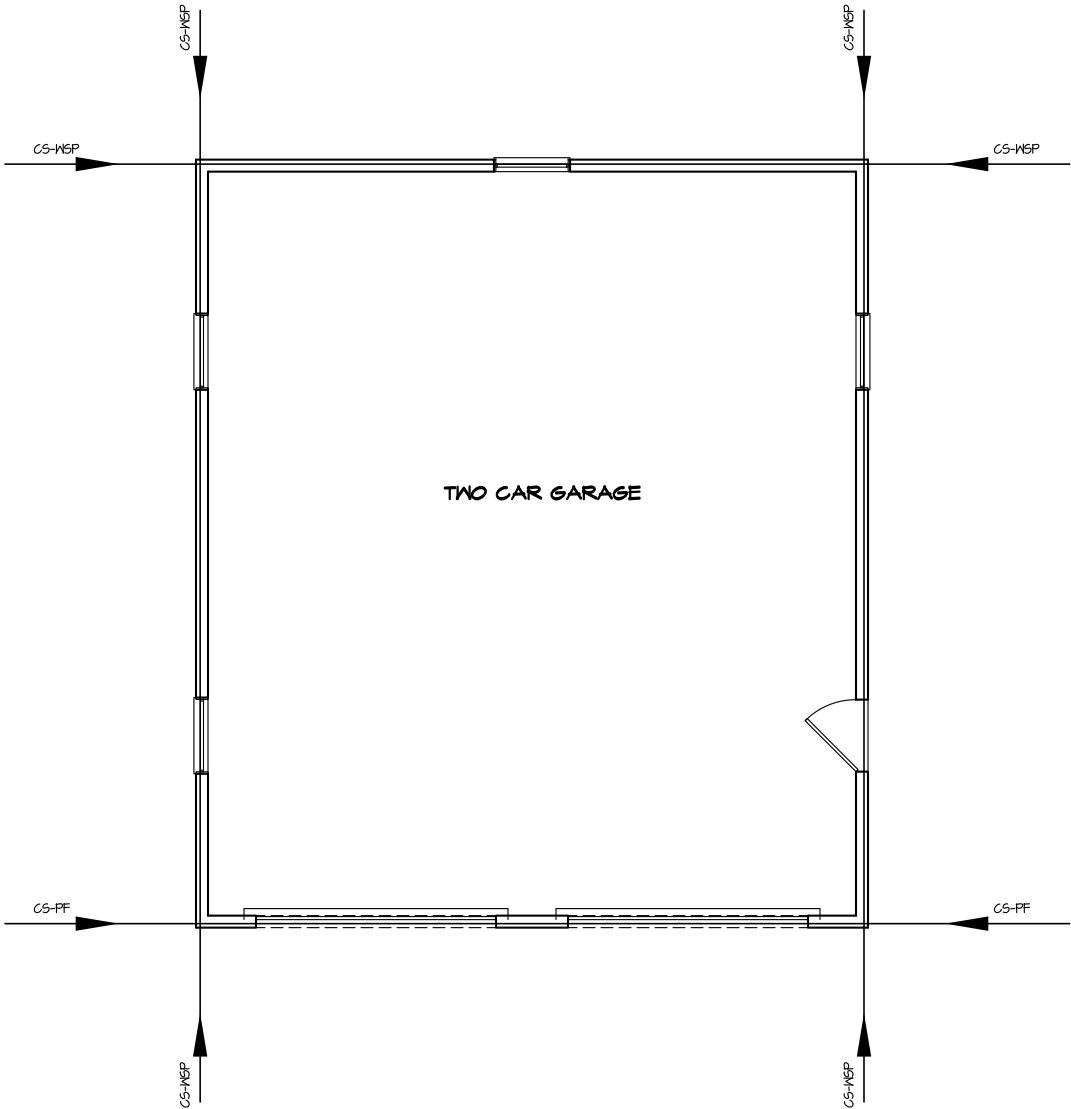
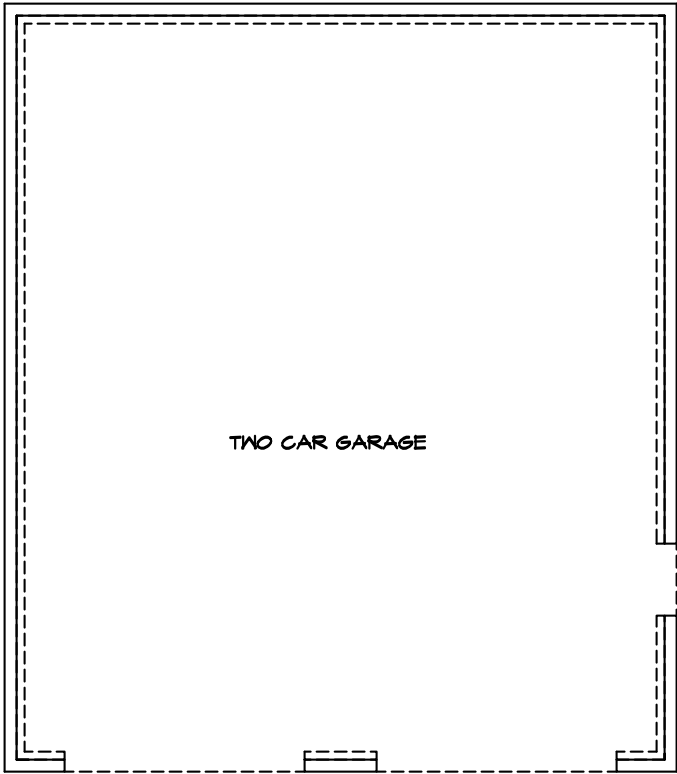
ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

DATE	CHANGE
X	X
X	X
X	X
X	X
X	X
X	X
X	X

DRAWN BY: LBM
DATE: 5/4/23
PROJECT NO. 007135

C E RENSBERGER
AND FAMILY LLC
BUILDER

HOUSE NAME: HANK GARAGE	DRAWING TITLE ELECTRICAL PLAN
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CONTINUOUS STRUCTURAL SHEATHING
(ALL EXTERIOR WALLS)

(H) HOLD-DOWN (800 lb MIN.)

BRACING WITH DRYWALL (GB - 2 SIDES)

BRACED SHEATHING (CS-WSP)

PORTAL WALL (CS-PF)

ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 1/16" OSB PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATES SHALL BE FASTENED TO JOIST OF SOLID BLOCKING WITH (5) 16d NAILS AT 16" O.C. JOIST TO PLATE OR SILL 2d @ 6" O.C. TO NAIL. ALL DESIGNATED INTERIOR BRACED WALLS SHALL BE MIN. 1/2" GYP BOARD APPLIED TO BOTH FACES OF FRAMING WITH ADHESIVE AND TYPE S OR W SCREWS AT 1" O.C. AT EDGES AND 8" O.C. AT INTERMEDIATE SUPPORTS.

THIS DRAWING SHOWS BRACED WALL LINES WITH "CONTINUOUS STRUCTURAL PANEL SHEATHING" MEETING THE MINIMUM REQUIREMENTS OF SECTION R602.10.4.2 OF THE IRC. BRACED WALLS ARE OF THE MINIMUM LENGTHS SPECIFIED IN IRC2018 R602.10.1.

**FIRST FLOOR PLAN
BRACED WALL LINES**

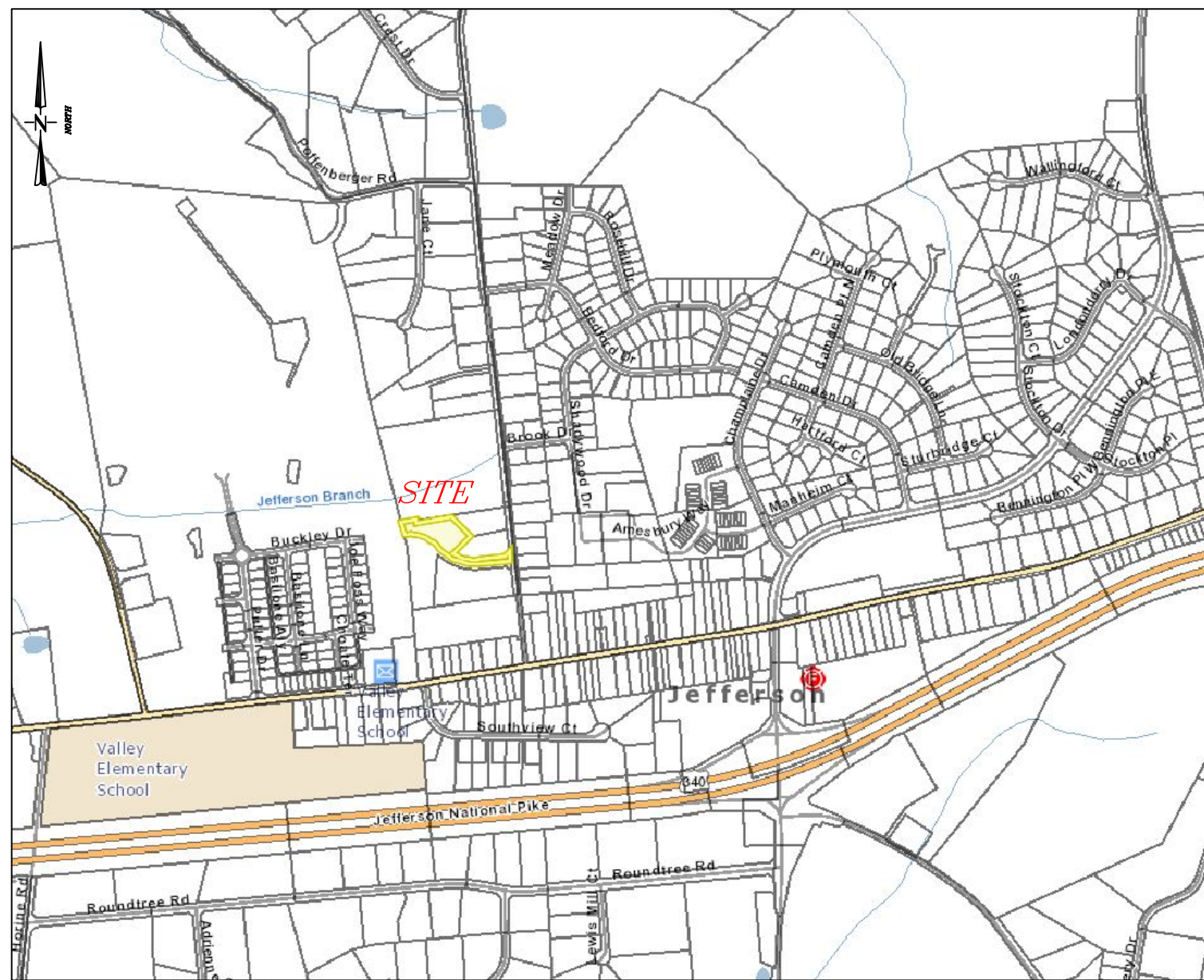
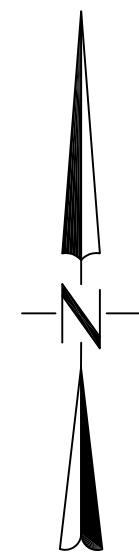
SCALE: 1/8" = 1'-0"

DATE	CHANGE
X	X
X	X
X	X
X	X
X	X
X	X
X	X

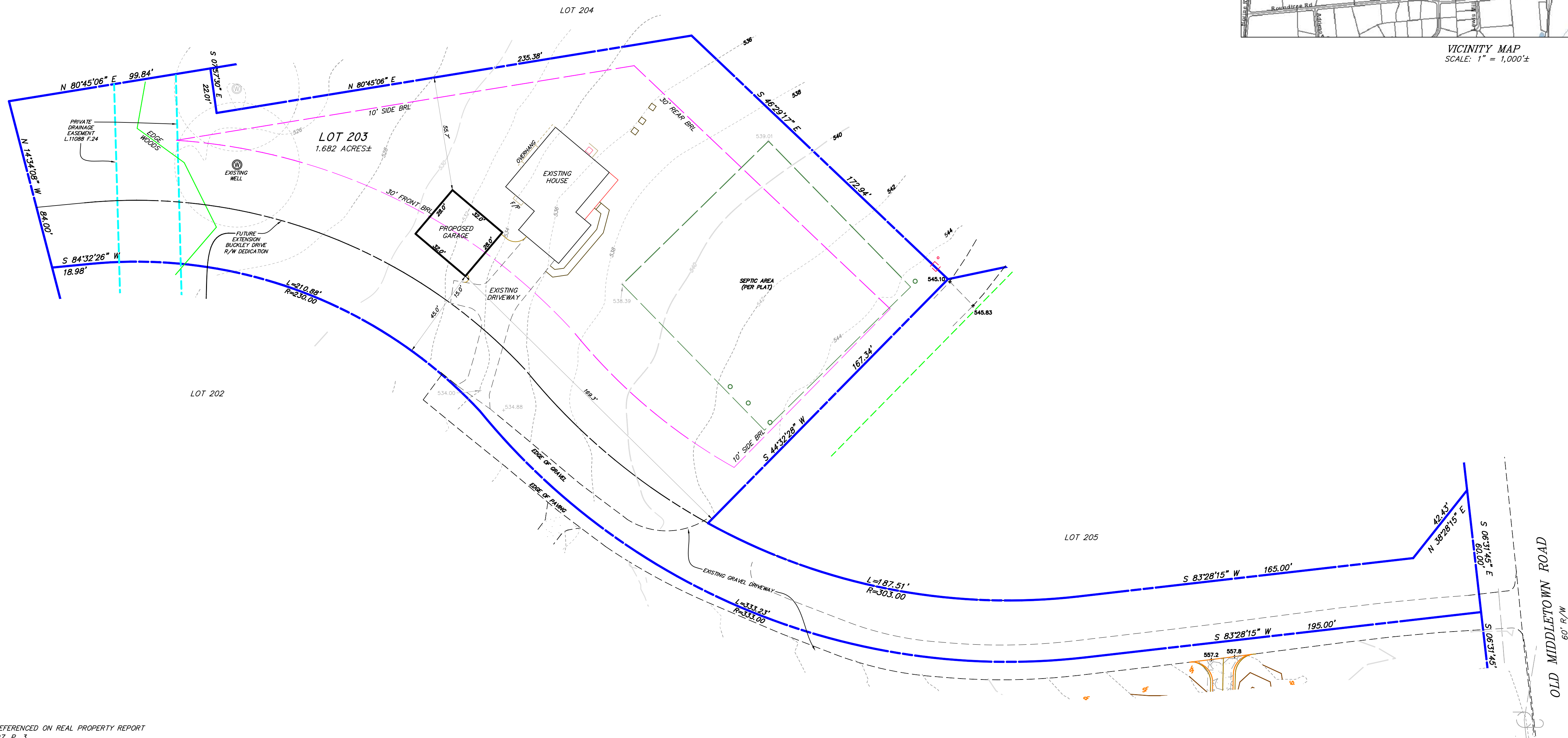
DRAWN BY: LBM
DATE: 5/4/23
PROJECT NO. 007135

C E RENSBERGER
AND FAMILY LLC
BUILDER

HOUSE NAME: HANK GARAGE	DRAWING TITLE FIRST FLOOR BRACED WALL LINES
-----------------------------------	---



VICINITY MAP
SCALE: 1" = 1,000'±



NOTES:

1. CURRENT DEED REFERENCE: NOT REFERENCED ON REAL PROPERTY REPORT
2. CURRENT PLAT REFERENCE: P.B. 97, P. 3
3. EXISTING TOPOGRAPHY FIELD RUN BY LAVELLE & ASSOC. INC. ON 2/26/2018
4. SITE SOILS CONSISTS OF MMB, MT, ZION GRAVELLY SILT LOAM, 3 TO 8 PERCENT SLOPES A HYDROLOGIC SOIL GROUP "C" SOIL, AND MMB MYERSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES A HYDROLOGIC SOIL GROUP "B" SOIL
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13. UPON COMPLETION OF BUCKLEY DRIVE, HOME OWNERS WILL BE RESPONSIBLE FOR APPLYING FOR CHANGE OF ADDRESS FOR THE PURPOSE OF 911 EMERGENCY DISPATCH AND RESPONSE.
14. A SIX (6) FOOT DRAINAGE AND UTILITY EASEMENT IS RESERVED ALONG ALL LOT LINE, AND HAS NOT BEEN SHOWN.

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

REVISIONS

LAVELLE & ASSOCIATES
INCORPORATED

PLANNERS • SURVEYORS

P.O. Box 379, Frederick, Maryland 21705
TEL: (301) 685-9722, FAX: (301) 685-9766

GARAGE SITE PLAN

LOT 203

HALLEIN SUBDIVISION

SECTION II - BLOCK A

SITUATED AT 4734 OLD MIDDLETOWN ROAD
JEFFERSON, MARYLAND 21755
FREDERICK COUNTY, MARYLAND

FIELD DATE: 2/26/2018

DRAWING DATE: 9/28/2023

SCALE: 1" = 30'

PROJ. No. 23-124

FILE: LP3\Hallein Subdivision \

Wkst.dwg

DRAWN: DML

PAGE 1 OF 2

OWNERS

JASON & JAMIE HAWK
4734 OLD MIDDLETOWN ROAD
JEFFERSON, MD 21755

Affidavit of Ownership

Jason R. Hawk and Jamie J. Hawk are the
Legal owners and reside at the following address in
Frederick, MD since 2022:

4734 Old Middletown Rd

Jefferson MD 21755

Tax ID#: 14-592921

Lot #203 BLK A Section II, Plat #97-3

Liber 12761 Folio 131

As the owners of the above property, we hereby
authorize C.E. Rensberger & Family LLC and their
employees, Rose Borisow and Joel Rensberger, to make
the appeal to the Board of Appeals for Frederick County,
MD to enable us to construct an Accessory Dwelling Unit
on our property.

Jason R Hawk

Jason R Hawk

7/31/23

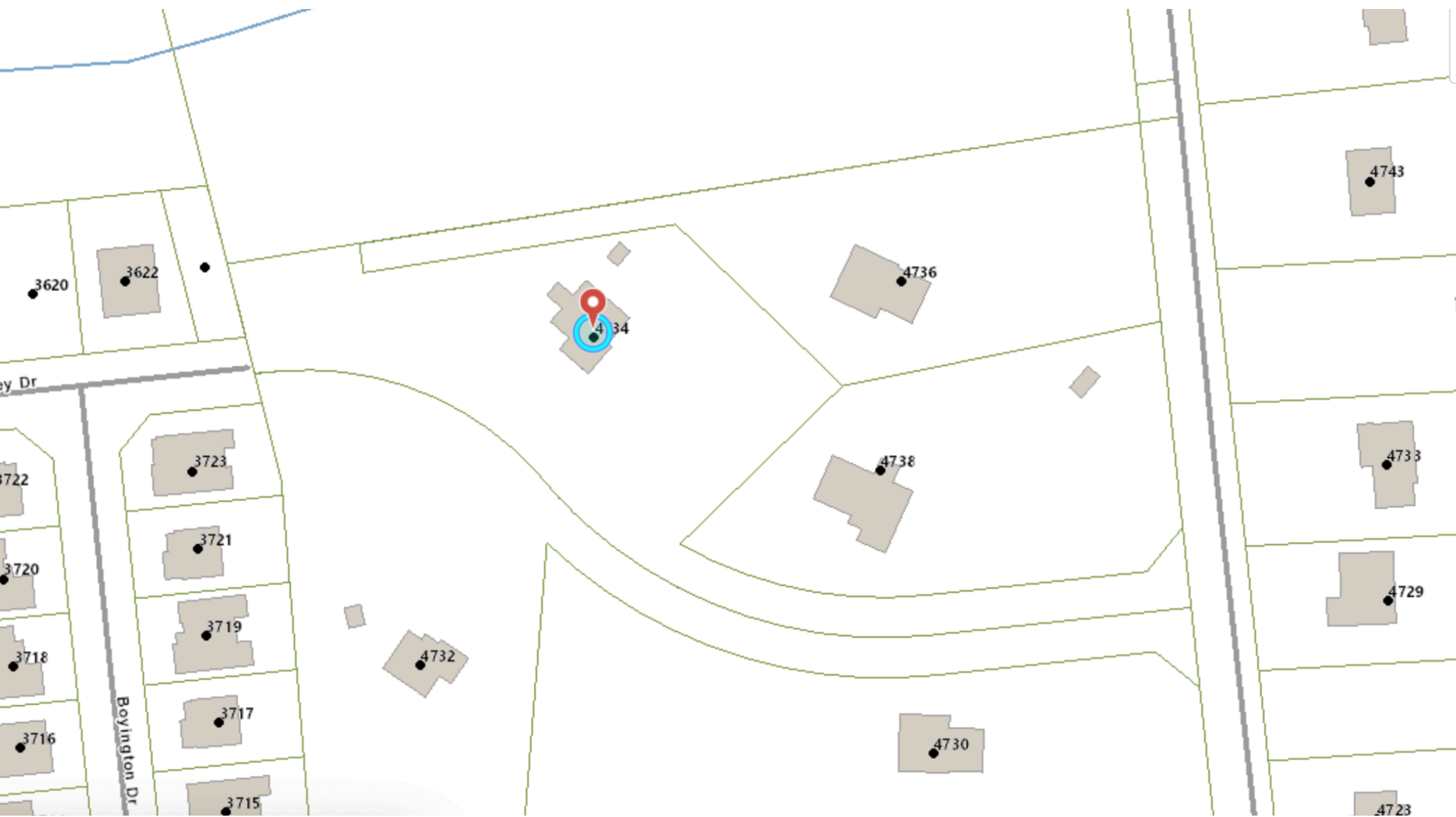
Date

Jamie J Hawk

Jamie J. Hawk

7/31/23

Date



PAN HANDLE CHART

	LOT 202	LOT 203
Usable Area	1.8 AC.±	1.4 AC.±
Panhandle	0.4 AC.±	0.3 AC.±
Total	2.203 AC.±	1.682 AC.±

BEALL, JAMES & SANDRA
4371 / 33
10.76 Acres ±
LOT 1 SECTION 1 HALLEIN
SUBDIVISION
PLAT BOOK 33 PAGE 28

SITE MAP
TAX MAP 084 PARCEL 9 SCALE: 1" = 1200'
TAX ID. No. 14-310478

SIGHT DISTANCE FOR PROPOSED COMMON ENTRANCE @ OLD MIDDLETOWN ROAD

Distance	Travel Speed
1000' +	45 mph
575'	< 25 mph

*A wet soils study conducted by Hatakeyama Soil and Environmental Consultants made the following determinations regarding the rating and construction of homes:

• Lots 201 & 205: Proposed building sites outside of the wet soils boundary contained some temporary saturation from perching or slow water movement that should be taken into consideration when building. A gravity drainage system or another similar solution should be constructed for houses with basements.

• Lot 202 & 203: Construction is not recommended in the wet soils and lower backslope position. A house situated in the upslope should be as long as proper building considerations are observed. A gravity drainage system or another similar solution should be constructed for houses with basements.

• In general, all building sites should be located upslope and avoid lower backslope and footslope landscape positions, concave landforms, and wetland bottoms.

CURVE TABLE

CURVE	RADIUS	ARC	TAN	DELTA	CHD. BRG.	DIST.
C1	363.00'	315.21'	168.32'	49°45'10"	571°39'10"E	305.40'
C2	230.00'	210.88'	113.51'	52°32'01"	N69°17'06"W	203.57'
C3	333.00'	333.23'	162.07'	57°20'05"	S67°51'43"E	319.50'
C4	303.04'	187.51'	96.86'	39°27'06"	S78°48'08"E	184.53'

LINE TABLE

LINE	LENGTH	BEARING
L1	42.43	N51°31'45"W
L2	18.36	S84°32'26"W
L3	22.01	S07°57'30"E
L4	42.43	N38°28'15"E
L5	30.03	S80°45'05"W
L6	30.02	N81°13'25"E

*** Lot 204 is approved for a Sand Mound type Septic System. Any disturbance of the ground within the septic area may negate Health Department approval. Sand Mounds can only be installed during dry weather (May 1 - October 31).**

CONTACT

CAROLYN H. HALLEIN
2330 MARKER ROAD
MIDDLETOWN, MD 21789
PHONE:

SURVEY AND PLAT BY:

J.F. BROWN III & ASSOC., INC.

4253 OLD NATIONAL PIKE
MIDDLETOWN, MARYLAND 21789
TELEPHONE: 301-663-1776

NOTE: THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE ABSTRACT

FINAL PLAT SECTION II - BLOCK A LOTS 201 - 205

Hallein Subdivision

SITUATED ON OLD MIDDLETOWN ROAD
JEFFERSON ELECTION DISTRICT NO. 14
FREDERICK COUNTY, MARYLAND

SYMBOLS	DATE	REVISIONS
○ Well	12/30/13	LOT LAYOUT
□ Septic Area		
△ Concrete Monument		
△ Planted Stone		
○ Steel Bar & Survey Cap No. 8644		

MINIMUM BUILDING RESTRICTION LINES
Front 30'
Rear 30'
Side 10'
Floodplain 25'

Date: August 11, 2023

To: Chair and Board of Appeals Members, Frederick County Md. (BoA)

Cc: Mike Paone, Jason Hawk, Rose Borisow, file

Regarding: Justification Letter: Proposed 15' variance from the required 30' front yard Building Restriction Line, 4734 Old Middletown Rd, Jefferson, MD 21755

Dear Board Chair and Members,

This letter and accompanying package are to appeal to the Board of Appeals (BoA) for permission to build a detached garage that, when finished, would lie 15 feet over an unusually placed front 30 foot building restriction line (BRL). A special exception is requested. The Hawk family has lived on the property for years. If a special exception is granted the proposed garage would be 45 feet from the closest property line; hopefully you will find this reasonable. Mr. Hawk is a Frederick County Public Schools administrator at Crestwood Middle School. Mrs. Hawk is a teacher at Brunswick Elementary School. Both are active in their community in other ways as well.

The unusual front BRL is the result of a hypothetical future connector road to an adjacent planned unit development (PUD). Noone expects or wishes for this connector road to be built. There is no support for it in the community. Mr. and Mrs. Hawk were unaware of this unusual BRL at the time they purchased their home, and when visiting this small subdivision, it does not logically appear to be a front at all. The lay of the land is such that this is actually a side yard in question.

We feel this accommodation is reasonable, affordable, and in keeping with both the neighborhood characteristic and planned zoning use.

This requested 15 foot encroachment is supported by all of the surrounding neighbors.

The applicable section of the Zoning Ordinance is 1-19-3.220. Current Zoning is Low Density Residential (R3)

The Hawk's lot is unique in several ways. It lies at the bottom of the hill; it has wet soils. The front yard is consumed by the septic field. The back yard is crippled by the northern property line. The proposed left side yard garage is the logical place to locate the garage, so as to spare the Hawks and their children the loss of the small back yard they do have.

- A. The Board of Appeals may authorize a variance in height, lot area, and yard regulations.** The Applicant request is for a 15 foot variance from the required 30 foot yard regulation.
- B. An application for variance shall be filed with the Board of Appeals only after refusal of zoning approval or an adverse determination has been issued by the Zoning Administrator.** Mr. Paone has advised that this matter requires BoA review and approval.
- C. The Board of Appeals shall not grant a variance unless and until a public hearing is held and all of the following criteria are met:**
- (a) First, the Board of Appeals shall find that special conditions and circumstances exist which are unique to the land or structure involved and which are not applicable to other lands or structures in the same district.

This Lot is unique to the area as it is the only one situated at the bottom of the hill, bordered by wet soils, and has a very small back yard. When created the lot was manipulated in order to accommodate the public frontage requirement and include the well location, leaving little usable area, unlike the other lots in this subdivision.

- D. Upon making its finding, the Board of Appeals shall also find that the following criteria are met:**
- (a) That the special conditions and circumstances do not result from the actions of the applicant.

The applicant did not take any action to create this condition.

- (b) The literal interpretation of the provisions of this chapter would result in unreasonable hardship and deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this chapter.

Literal interpretation of this chapter deprives the family of locating this building with a reasonable and useful relationship to their existing home. The only alternative is to place the garage in the back yard; this forces the loss of the use of their back yard. Others in the community have the ability to build a garage and locate it sensibly with relation to their homes (see attached).

- (c) That granting this variance will not confer on the applicant any special privilege that is denied by this chapter to other lands or structures in the same district.

There is no special privilege granted by this variance.

- (d) That granting of the variance will be in harmony with the general purpose and intent of this chapter and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Granting of this variance is in harmony with the general purpose and intent of the chapter. It is not injurious to others or detrimental. This variance is supported by the community.

- (e) In granting the variance, the Board of Appeals may prescribe appropriate conditions and safeguards in conformity with this chapter. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, is a violation of this chapter.

All prescribed appropriate conditions and safeguards will be followed.

- (f) Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this chapter in the zone involved, or any use expressly or by implication prohibited by the terms of this chapter in said zone.

The proposed use of the property, low density residential, is an allowed use.

- (g) Under no circumstances shall the Board of Appeals grant a variance to a nonconforming structure for the portion of structure determined by the Zoning Administrator to be nonconforming.

No portion of the proposed structure will be nonconforming.

Furthermore,

1. The proposed use is consistent with the purpose and intent of the Comprehensive Development Plan of this chapter; and
2. The nature and intensity of the operations involved and conducted with it and the size of the site in relation to it are such that the proposed use will be in complete harmony with the appropriate and orderly development of the neighborhood in which it is proposed; and
3. The operations in conjunction with the special exception at the proposed location will not have an adverse effect such as noise, fumes, vibrations or other characteristics on neighboring properties above and beyond those inherently associated with the special exception at any other location within the zoning district; and
4. Parking will comply with the off-street parking regulations of this chapter. The entrance/exit to the property will remain unchanged and remain a maximum safety location.
5. The road system providing access to the proposed use is adequate to serve the proposed building site for the intended use.

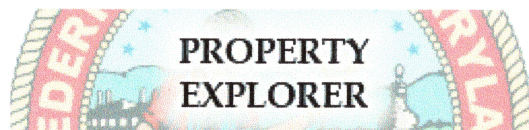
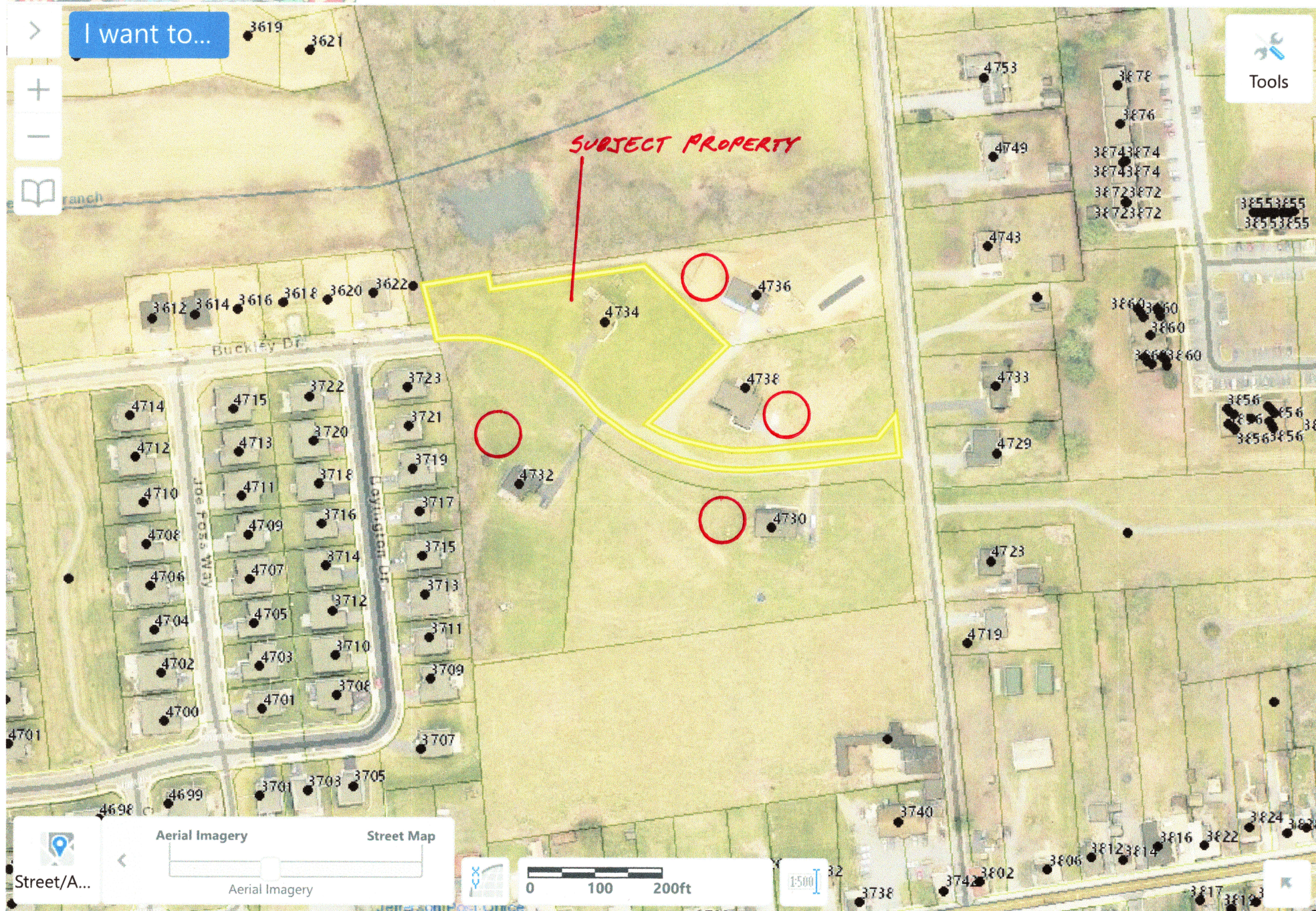
Thank you for your time and thoughtful consideration,

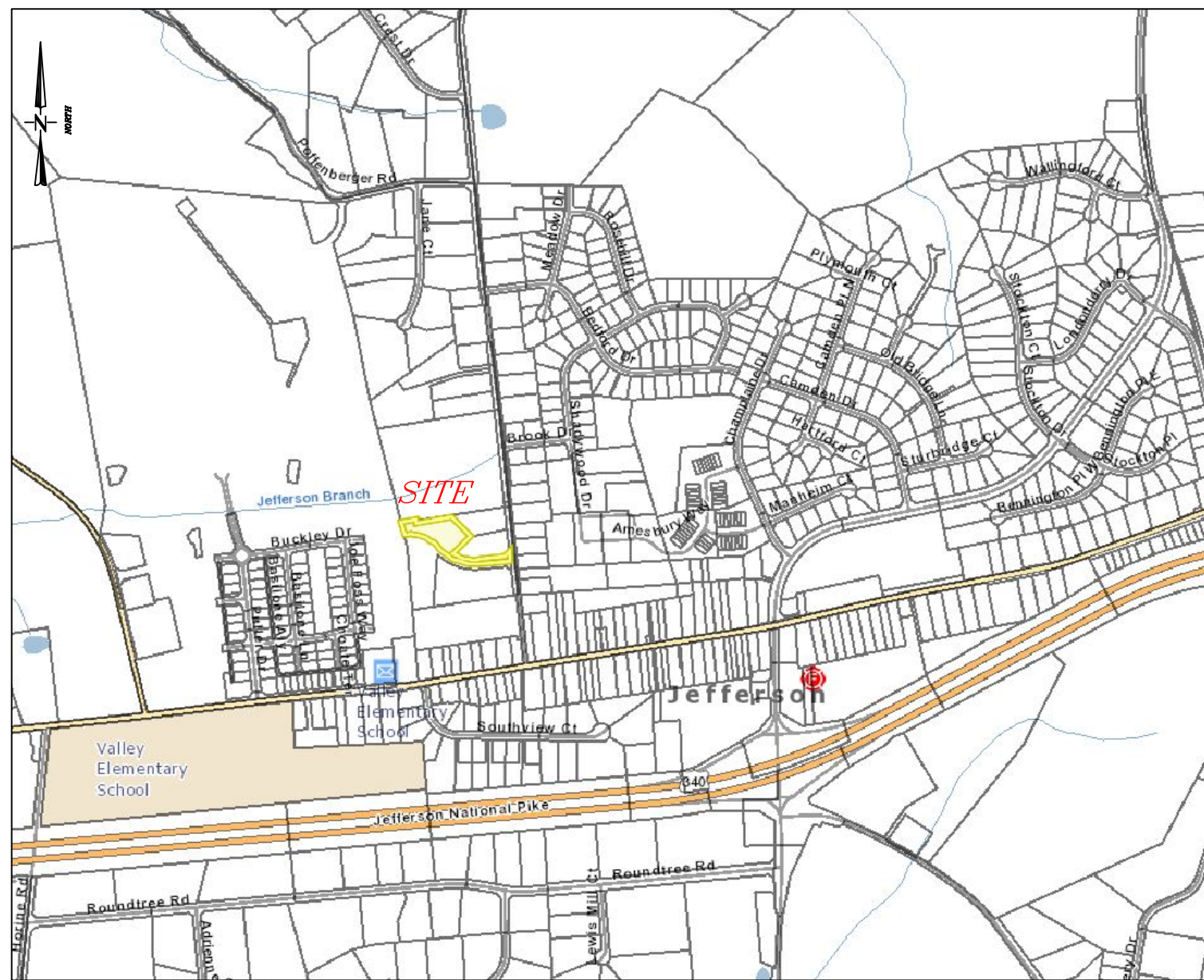
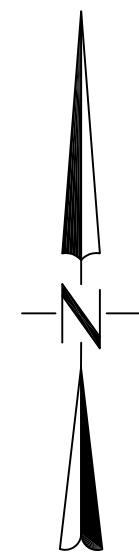
A handwritten signature in black ink, appearing to read 'Joel Rensberger', with a stylized, flowing script.

Joel Rensberger, Builder

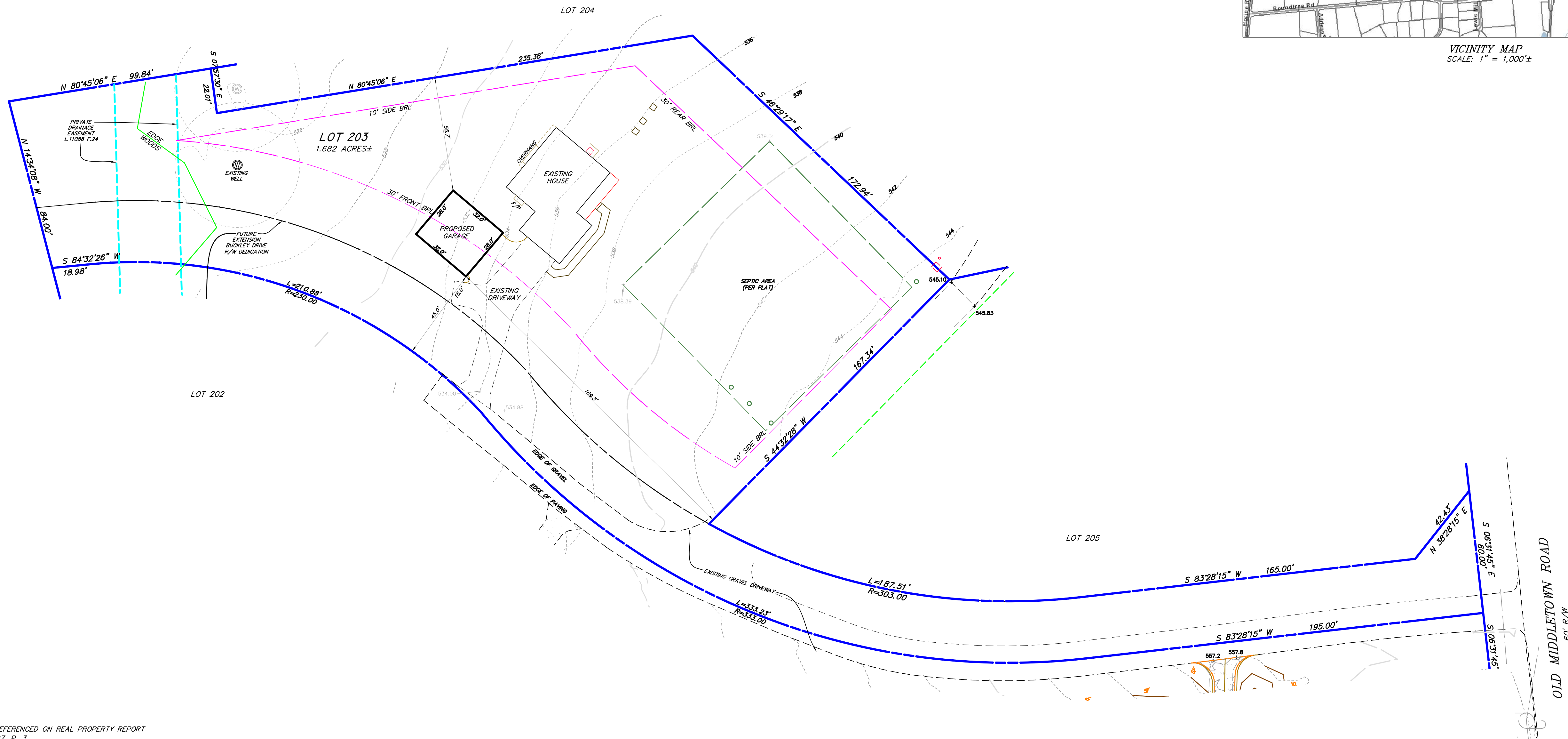
1 South Main St. Woodsboro MD 21798

301.370.4042

Frederick County,
MarylandINDICATES POSSIBLE GARAGE LOCATIONS
FOR SURROUNDING PROPERTIES



VICINITY MAP
SCALE: 1" = 1,000'



NOTES:

1. CURRENT DEED REFERENCE: NOT REFERENCED ON REAL PROPERTY REPORT
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GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

REVISIONS

LAVELLE & ASSOCIATES
INCORPORATED

PLANNERS • SURVEYORS

P.O. Box 379, Frederick, Maryland 21705

TEL: (301) 685-9722, FAX: (301) 685-9766

GARAGE SITE PLAN

LOT 203

HALLEIN SUBDIVISION

SECTION II - BLOCK A

SITUATED AT 4734 OLD MIDDLETOWN ROAD
JEFFERSON, MARYLAND 21755
FREDERICK COUNTY, MARYLAND

FIELD DATE: 2/26/2018

DRAWING DATE: 9/28/2023

SCALE: 1" = 30'

PROJ. No. 23-124

FILE: LP3\Hallein Subdivision \

DRAWN: DML

PAGE 1 OF 2

OWNERS

JASON & JAMIE HAWK
4734 OLD MIDDLETOWN ROAD
JEFFERSON, MD 21755