



FREDERICK COUNTY BOARD OF APPEALS

FEBRUARY 23, 2023

TITLE: QLoop Communications Services, LLC
Activity in the FEMA Floodplain

CASE NUMBER: B-23-04 (B274872)

REQUEST: Requesting approval of a Special Exception to allow *Activity within Floodplain District* under Sec.1-19-9.110 and Sec 1-19-9.120 *Procedures for Activities within the FEMA Floodplain*. There are five sites associated with this application.
(Attachments 1 thru 5)

PROJECT INFORMATION:

ADDRESS/LOCATION: Multiple Sites
TAX MAP/PARCEL: Multiple Sites
ZONE: Agricultural/Resource Conservation
REGION: Brunswick
WATER/SEWER: N/A – N/A
COMP. PLAN/LAND USE: Agricultural and Resource Conservation

APPLICANT/REPRESENTATIVES:

APPLICANT: Jeff Schamber
OWNER: Primarily Potomac Edison Right of Way
ENGINEER: N/A
ARCHITECT: N/A
ATTORNEY: N/A

STAFF: Michael Paone, Zoning Planner

RECOMMENDATION: Staff has no objections to this request for a Special Exception seeking the approval of the proposed Activity within a Floodplain under Sections 1-19-9.110 and 1-19-9.120 of the Frederick County Zoning Code.

ATTACHMENTS:

Exhibit #1: Area Plan
Exhibit #2: Site 1
Exhibit #3: Site 2&3
Exhibit #4: Site 4
Exhibit #5: Site 5
Exhibit #6: No Elevation Rise Letter

Background:

Telcon Services, on behalf of QLoop Communications Services, LLC; is requesting permission to place conduit, fiber, and hand holes below grade within 5 sites through the Frederick County floodplain district as part of the construction of a 42-mile fiber ring from/to a campus in Frederick County. **(Exhibits #1 thru 5)** The project is underway and has passed the requirements of Maryland Department of the Environment (MDE) and the United States Army Corp of Engineers (USACE) for the five designated floodplain district areas. All material will be placed below ground, the the Applicant has submitted a professional engineer sign and stamp that the project will not permanently change soil/slope contours or result in any permanent net fill within the floodway or floodplain.

General Criteria – Special Exception § 1-19-3.210:

(A) An application for a special exception may be made only by persons with a financial, contractual or proprietary interest in the property for which a special exception is requested.

This request is being made by QLoop which is the entity with financial, contractual, and proprietary interest in the affected property.

(B) A grant of a special exception is basically a matter of development policy, rather than an appeal based on administrative error or on hardship in a particular case. The Board of Appeals should consider the relation of the proposed use to the existing and future development patterns. A special exception shall be granted when the Board finds that.

(1) The proposed use is consistent with the purpose and intent of the Comprehensive Development Plan and of Chapter 1-19 of the Frederick County Code; and

The Applicant states that the proposed use is consistent with the existing and future development patterns of this area, as the existing land use is a utility corridor, and it will continue to be used as a utility corridor in perpetuity.

(2) The nature and intensity of the operations involved in or conducted in connection with it and the size of the site in relation to it are such that the proposed use will be in harmony with the appropriate and orderly development of the neighborhood in which it is located; and

The Applicant states that the nature and intensity of the operations involved with the proposed use will be in harmony with the appropriate and orderly development of the neighborhood. The proposed project places fiber optic cable within existing powerline utility rights of way, which pass through agricultural areas that are continuously disturbed by ground cultivation.

(3) Operations in connection with the special exception at the proposed location shall not have an adverse effect such as noise, fumes, vibration or other characteristics on neighboring properties above and beyond those inherently associated with the special exception at any other location within the zoning district; and

The Applicant states that the operation of the fiber optic cable will have no adverse effect on neighboring properties as it is a subsurface and silent utility. Temporary construction impacts associated with installation of the cable will be of no greater or lesser magnitude than the existing operations required to maintain the power line infrastructure or cultivate and harvest the fields. (Exhibit #6: No Elevation Rise Letter)

(4) Parking areas will comply with the off-street parking regulations of Chapter 1-19 of the Frederick County Code and will be screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety.

The Applicant states that this is not applicable, the proposed use and operation will not require parking areas. Entrance and exit drives have already been establish by the power company and farmers.

(5) The road system providing access to the proposed use is adequate to serve the site for the intended use.

The Applicant states that the operation of the proposed fiber optic cable will require negligible vehicular access. Only occasional service trucks will be required to access the line. The existing road system which currently provides adequate access and safety for the service of the power lines and farms will be sufficient for the operation of the fiber optic cable as well.

(C) In addition to the general requirements listed above, uses requiring a special exception shall be subject to the specific requirements for each use outlined in §§ [1-19-.320](#) through [1-19-8.355](#) of this Code.

The Applicant states that that they understand this requirement.

(D) A special exception approval may be granted in accordance with the general and specific requirements enumerated in this section. The Board of Appeals may, in addition to other requirements imposed under Chapter 1-19 of the Frederick County Code and is hereby authorized to add to the specific requirements any additional conditions that it may deem necessary to protect adjacent properties, the general neighborhood, and its residents or workers. Violation of such additional conditions, when made a part of the terms under which the special exception permit is granted, is a violation of Chapter 1-19 of the Frederick County Code and may be grounds for termination of the special exception.

The Applicant states that that they understand this requirement.

(E) The Board of Appeals shall not grant a special exception unless and until:

- (1) A written application for a special exception is submitted indicating the section of Chapter 1-19 of the Frederick County Code under which the special exception is sought and stating the grounds on which it is requested; and
- (2) A public hearing has been held; and the Board had made a finding of fact that the special exception requested meets the general and specific requirements outlined in this section.
- (3) The grant of special exception may include approval of customary incidental accessory uses as reviewed and approved by the Zoning Administrator.

Staff notes that there are no accessory uses are proposed as part of this application.

(G) No use or activity permitted as a special exception shall be enlarged or extended beyond the limits authorized in the grant of special exception. All enlargements, extensions, and changes in use shall require grants of special exception, as in the case of an original petition.

(H) If a grant of special exception is denied, no new petition for the denied use on the same property shall be accepted by the Board of Appeals for 1 year after the date of denial of the petition.

(I) A decision of the Board of Appeals granting a special exception will be void 5 years from date of approval by the Board of Appeals unless the use is established, a building permit is issued, construction has begun, or final site development plan approval has been received in accordance with the terms of the decision. Upon written request submitted to the Zoning Administrator no later than 1 month prior to the expiration date and for good cause shown by the applicant, a 1-time extension may be granted by the Zoning Administrator for a period not to exceed 6 months.

The Applicant states that that they understand the requirements referenced in (E) through (I) above.

§ 1-19-9.120. PROCEDURES FOR ACTIVITIES WITHIN THE FEMA FLOODPLAIN.

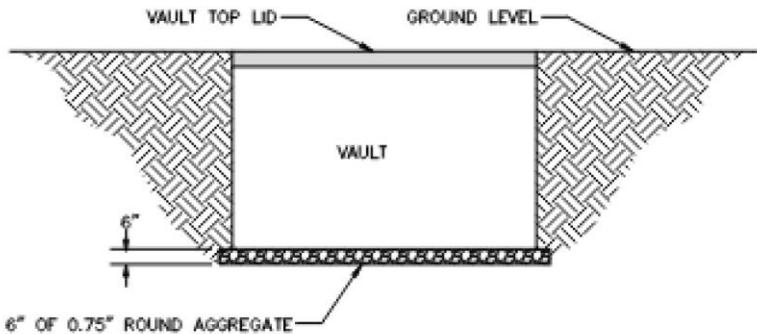
The Board of Appeals shall review the following activities within the FEMA floodplain: substantial improvements, substantial improvements due to existing structures substantial damage, replacement or relocated dwelling units (including manufactured homes), the addition of accessory buildings, the expansion or replacement of an existing nonconforming use, or development of an existing parcel of record lying totally within the FEMA floodplain. Applications to allow new structures or fill to be placed in the floodway shall not be considered. The Board of Appeals may grant an application for approval for activity within the FEMA floodplain when the Board specifically finds that:

(A) Failure to grant the application for approval would result in exceptional hardship to the applicant; and

The Applicant states that the scope of the project is a \$100 million build that traverses through Frederick County, Montgomery County, and Loudoun County in Virginia. These areas are pertinent to the build and continuity of the project.

(B) The granting of an application for approval would not increase flood heights, add threats to public safety, result in extraordinary public expense, create nuisances, cause fraud or victimization of the public or conflict with existing local laws or ordinances; and

The Applicant states that a review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. All permanent structures will be below the ground surface and the floodplain/floodway. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project. It is the Applicant's Engineer of Record's assessment that this application will not increase flood heights, add threats to public safety, result in extraordinary public expense, create nuisances, cause fraud or victimization of the public or conflict with existing local laws or ordinances. Below is a profile of the proposed utility vaults.



NOTES:

1. VAULTS SHALL BE PLACED A MINIMUM OF 10" SEPARATION UNLESS APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. VAULTS SHALL BE INSTALLED TO EXISTING GRADE AND AS LEVEL AS POSSIBLE.
3. THE VAULTS WILL BE INSTALLED PARALLEL AND SQUARED UP WITH STREETS AND SIDEWALKS.
4. THE BOTTOM OF THE PIT SHALL BE COMPACTED TO 95% TO ALLOW FOR A SOLID BASE PRIOR TO THE VAULT SET.
5. THE BACKFILL AROUND THE VAULT WILL BE NATIVE SOIL AND COMPACTED TO 95% AFTER EVERY 6".
6. THE BOTTOM OF THE PIT SHALL HAVE AT LEAST 6" OF 0.75" ROUND AGGREGATE TO ALLOW FOR DRAINAGE AND A SOLID BASE PRIOR TO THE SETTING OF THE VAULT.

VAULT INSTALLATION
NOT TO SCALE

(C) The granting of an application for approval would not allow new structures or fill to be placed in the floodway; and

The Applicant states that the project involves no permanent cut or fill. The structures are all below ground and pass the FEMA ASCE 24-14 regulations, (See Exhibit #6).

(1) The granting of an application for approval is the minimum necessary considering the flood hazard to provide relief and that public funds may not be available to mitigate the results of the approval; and

The Applicant states that the project will not result in the need to use public funds for mitigation or provide relief since all hand holes (structures) would be buried below ground and there will be no change in permanent net fill.

(2) All new structures and substantial improvements to existing structures will have the lowest floor elevated to the greatest extent possible with respect to the 100-year flood elevation, but at least to the Flood Protection Elevation, and a FEMA elevation certificate filed. In addition, all structures, including manufactured homes, must be firmly anchored in accordance with acceptable engineering practices (i.e., FEMA publication 85 "Manufactured Home Installation in Flood Hazard Areas"); and

The Applicant states that no manufactured homes will be installed, and all structures are below ground level. There will be no substantial improvements to existing structures, and the Applicant has considered the 100-year flood elevation. There will be no change in elevation due to the placement of the below ground structures.

(3) The granting of a permit by the Maryland Department of the Environment if located within a FEMA floodplain; and

The Applicant states that that they understand this requirement and has stated that they have received approval from MDE as well as the USACE.

MDE Permit 21-NT-3181/202161612 Granted on June 16, 2022.

(4) The action is duly recorded with the deed of the property on which the application for approval is granted prior to the issuance of a building permit. Any expense incurred by the recording is the responsibility of the applicant.

The Applicant states that that they understand this requirement.

(5) The Board of Appeals shall not grant approval of the above activities for lots containing floodplain created after June 6, 1989.

The Applicant states that that they understand this requirement. Staff notes that these easement areas appear on the 1967 Tax Maps and adhere to the above requirement.

(D) The Board of Appeals will notify the applicant of approval in writing through the Zoning Administrator. The decision of approval and findings shall include the notification that:

(1) The issuance of a decision to allow construction of a structure below the 100-year flood level will result in increased premium rates for flood insurance.

The Applicant states that that they understand this requirement.

- (2) Such construction below the 100-year flood level increases risks to life and property.

The Applicant states that that they understand this requirement.

- (3) The Board of Appeals will maintain a record of all decisions, including justification for their issuance, and the Zoning Administrator will report such decisions in the county biennial reports submitted to the Federal Emergency Management Agency.

The Applicant states that that they understand this requirement.

1-19-3. 210.I: A decision of the Board of Appeals granting a special exception will be void 5 years from the date of approval by the Board of Appeals unless the use is established, a building permit is issued, construction has begun, or final site development plan approval has been received in the accordance with the terms of the decision. Upon written request submitted to the Zoning Administrator no later than 1 month prior to the expiration date and for good cause shown by the Applicant, a time extension may be granted by the Zoning Administrator for a period not to exceed 6 months.

Exhibit #1 QLoop Area Plan-5 areas of Activity in the Floodplain District

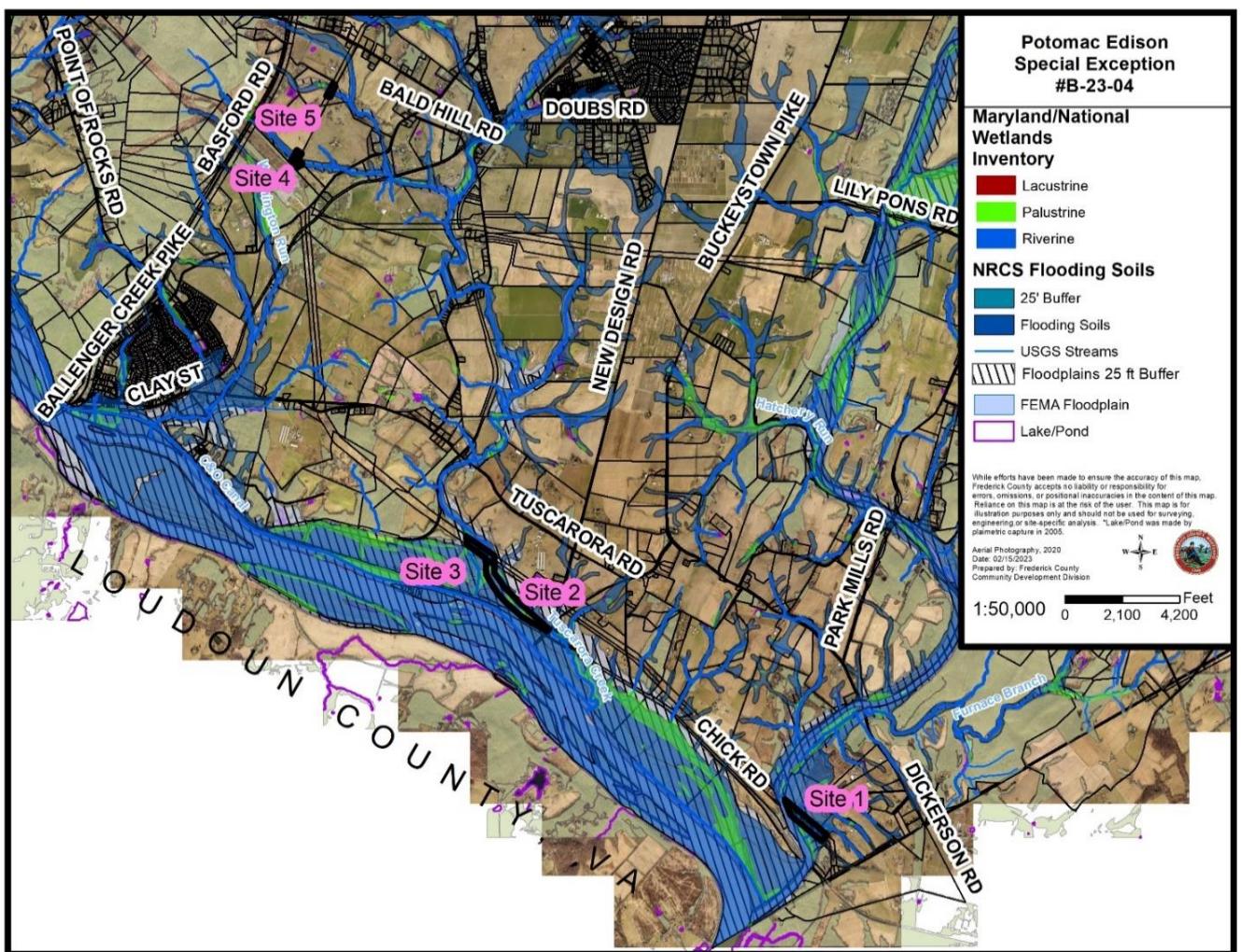


Exhibit #2: Site 1

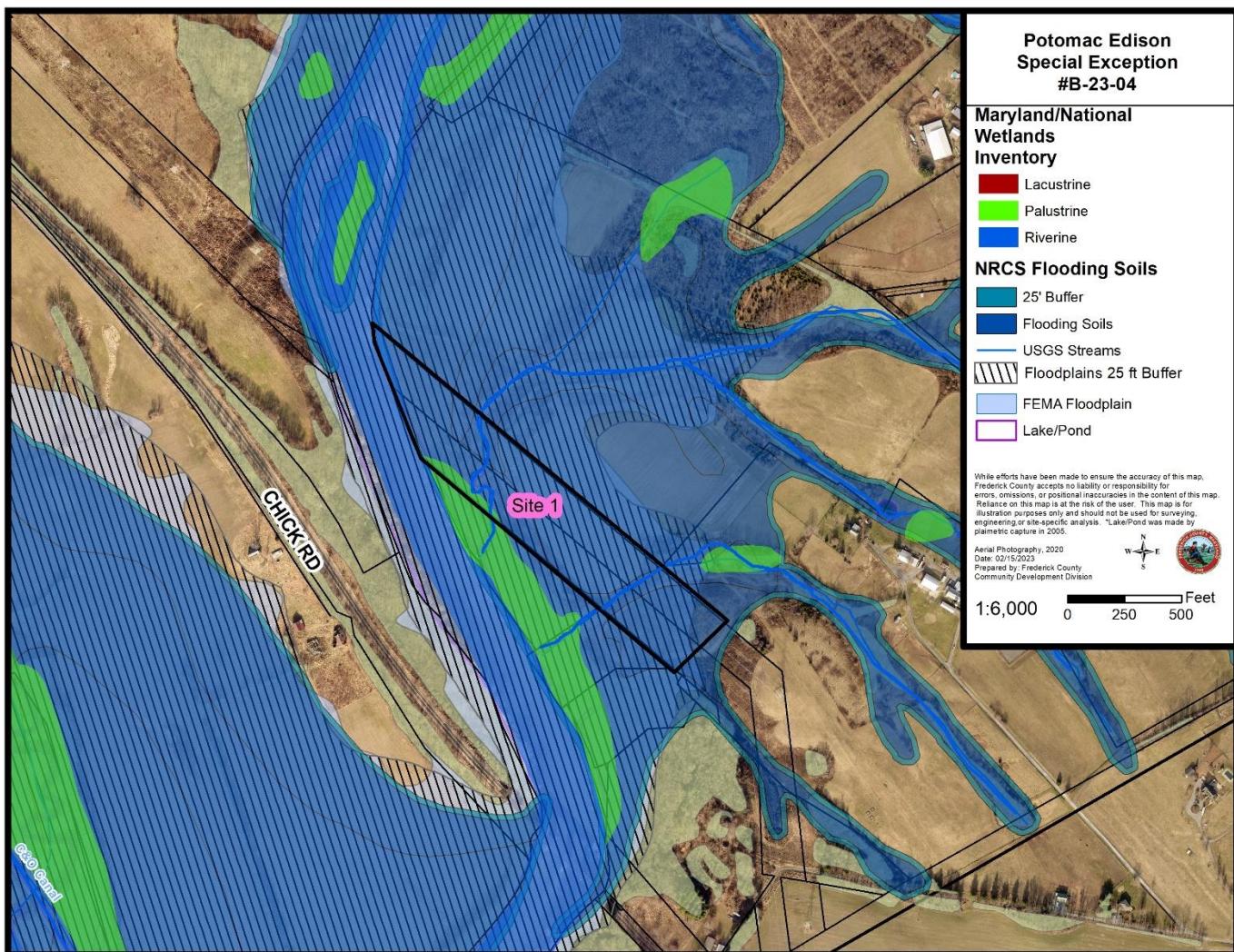


Exhibit #3: Sites 2 & 3

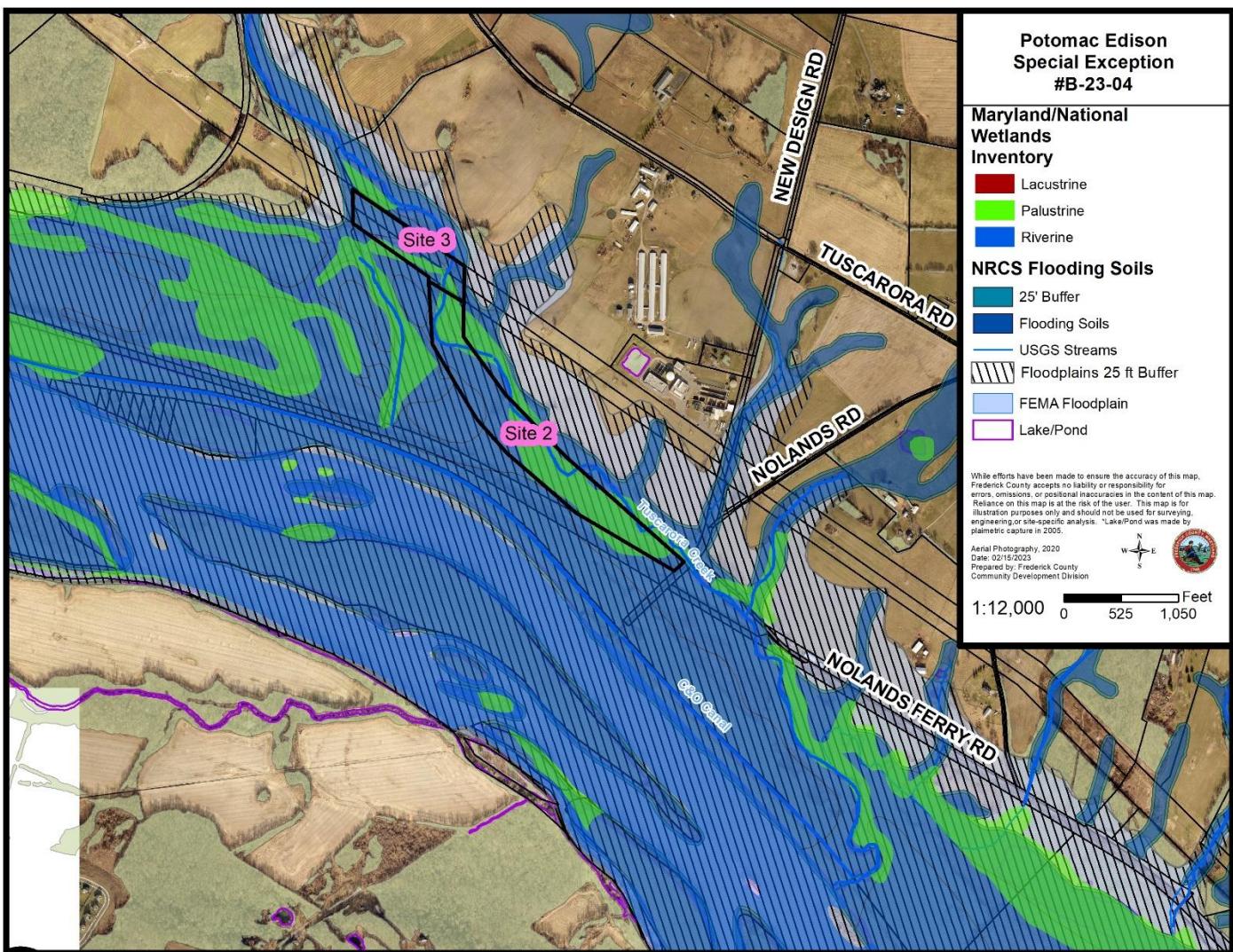


Exhibit #4: Site 4

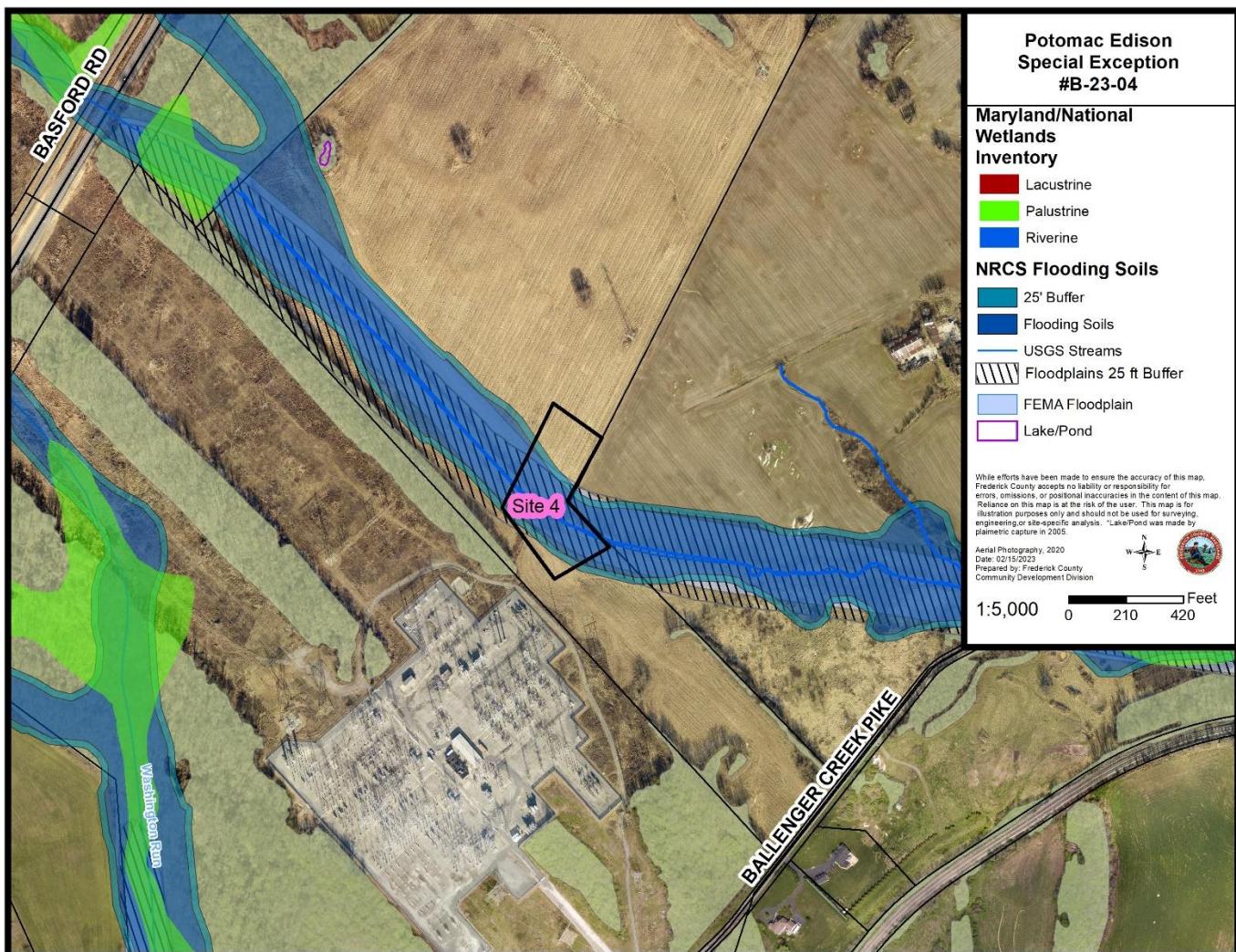


Exhibit #5: Site 5

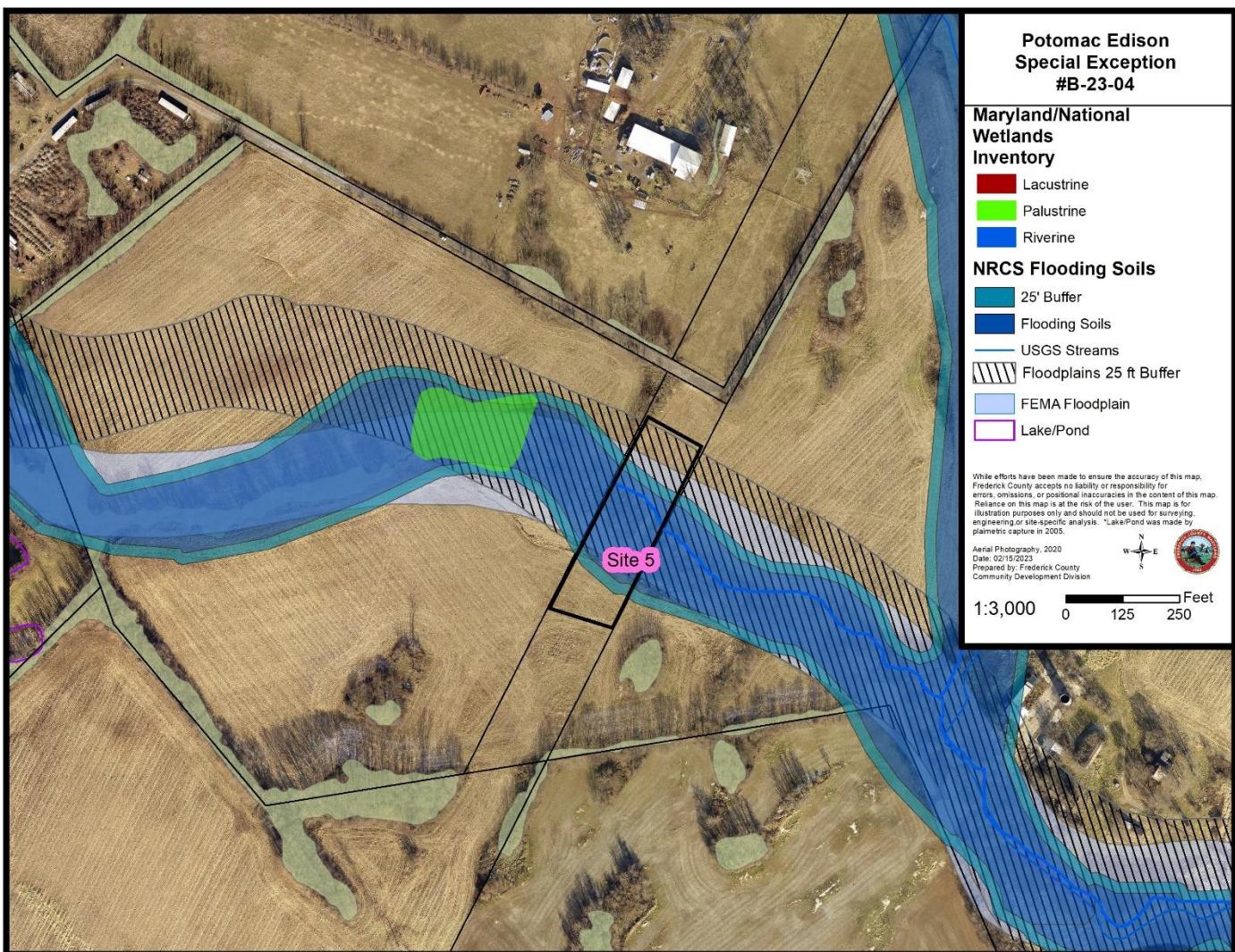


Exhibit #6: No Elevation Rise Letter



09/19/2022

Ashley M. Moore

Senior Planner
Frederick County Division of Planning and Permitting
Department of Development Review and Planning
30 North Market Street
Frederick, MD 21701

Telcon Services, LLC. Is submitting the following statement regarding the floodplain comments for Project Sage Phase 15.

A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. Project sage involves no permanent cut or fill. All trenches and pits will be backfilled with native material or imported aggregate; any surplus material will be hauled off to an approved upland disposal location. Any temporary staging areas within the floodplain will be removed. Slope contours intersected by trenching will be restored to match preconstruction conditions and the surrounding terrain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.

Sincerely,

Jeff Schamber

Jeff Schamber
Project Manager
Telcon Services, LLC
208-870-4790
jschamber@telconservices.com

§ 1-19-9.120. PROCEDURES FOR ACTIVITIES WITHIN THE FEMA FLOODPLAIN.

(A) The Board of Appeals shall review the following activities within the FEMA floodplain: substantial improvements, substantial improvements due to existing structures substantial damage, replacement or relocated dwelling units (including manufactured homes), the addition of accessory buildings, the expansion or replacement of an existing nonconforming use, or development of an existing parcel of record lying totally within the FEMA floodplain. Applications to allow new structures or fill to be placed in the floodway shall not be considered. The Board of Appeals may grant an application for approval for activity within the FEMA floodplain when the Board specifically finds that:

- (1) Failure to grant the application for approval would result in exceptional hardship to the applicant; and

The overall scope of the project is a \$100 million build that traverses through Frederick County, Montgomery County, and Loudoun County in Virginia. These areas are pertinent to the build and continuity of the project.

(2) The granting of an application for approval would not increase flood heights, add threats to public safety, result in extraordinary public expense, create nuisances, cause fraud or victimization of the public or conflict with existing local laws or ordinances; and

A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.

(3) The granting of an application for approval would not allow new structures or fill to be placed in the floodway; and

Project Sage involves no permanent cut or fill. The structures are all below ground and pass the FEMA ASCE 24-14 regulations.

(4) The granting of an application for approval is the minimum necessary considering the flood hazard to provide relief and that public funds may not be available to mitigate the results of the approval; and

Project Sage will not result in the need to mitigate public funds or provide relief since all hand holes (structures) would be buried below ground and no change in permanent net fill.

(5) All new structures and substantial improvements to existing structures will have the lowest floor elevated to the greatest extent possible with respect to the 100 year

flood elevation, but at least to the Flood Protection Elevation, and a FEMA elevation certificate filed. In addition, all structures, including manufactured homes, must be firmly anchored in accordance with acceptable engineering practices (i.e., FEMA publication 85 "Manufactured Home Installation in Flood Hazard Areas"); and

No manufactured homes will be installed and all structures are below ground level. There will be no substantial improvements to existing structures and we have taken into account the 100-year flood elevation. There will be no change in elevation due to the placement of the below ground structures.

(6) The granting of a permit by the Maryland Department of the Environment if located within a FEMA floodplain; and

ACKNOWLEDGED

(7) The action is duly recorded with the deed of the property on which the application for approval is granted prior to the issuance of a building permit. Any expense incurred by the recording is the responsibility of the applicant.

ACKNOWLEDGED

(8) The Board of Appeals shall not grant approval of the above activities for lots containing floodplain created after June 6, 1989.

ACKNOWLEDGED

(B) The Board of Appeals will notify the applicant of approval in writing through the Zoning Administrator. The decision of approval and findings shall include the notification that:

(1) The issuance of a decision to allow construction of a structure below the 100 year flood level will result in increased premium rates for flood insurance;

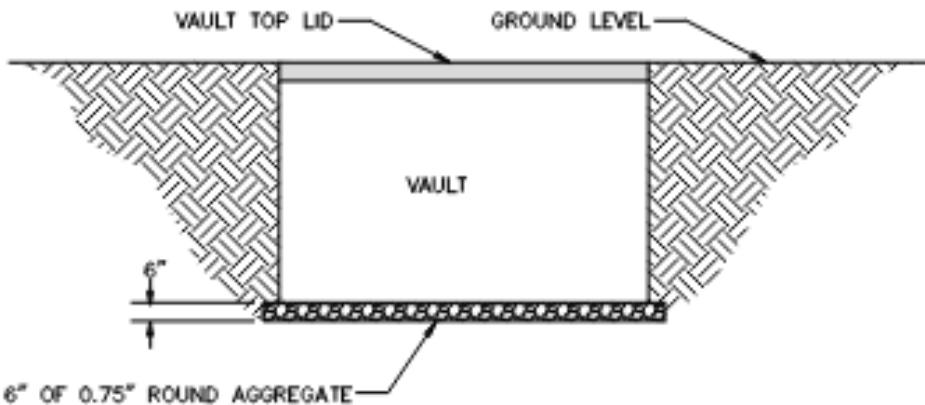
ACKNOWLEDGED

(2) Such construction below the 100 year flood level increases risks to life and property.

ACKNOWLEDGED

(C) The Board of Appeals will maintain a record of all decisions, including justification for their issuance, and the Zoning Administrator will report such decisions in the county biennial reports submitted to the Federal Emergency Management Agency.

ACKNOWLEDGED

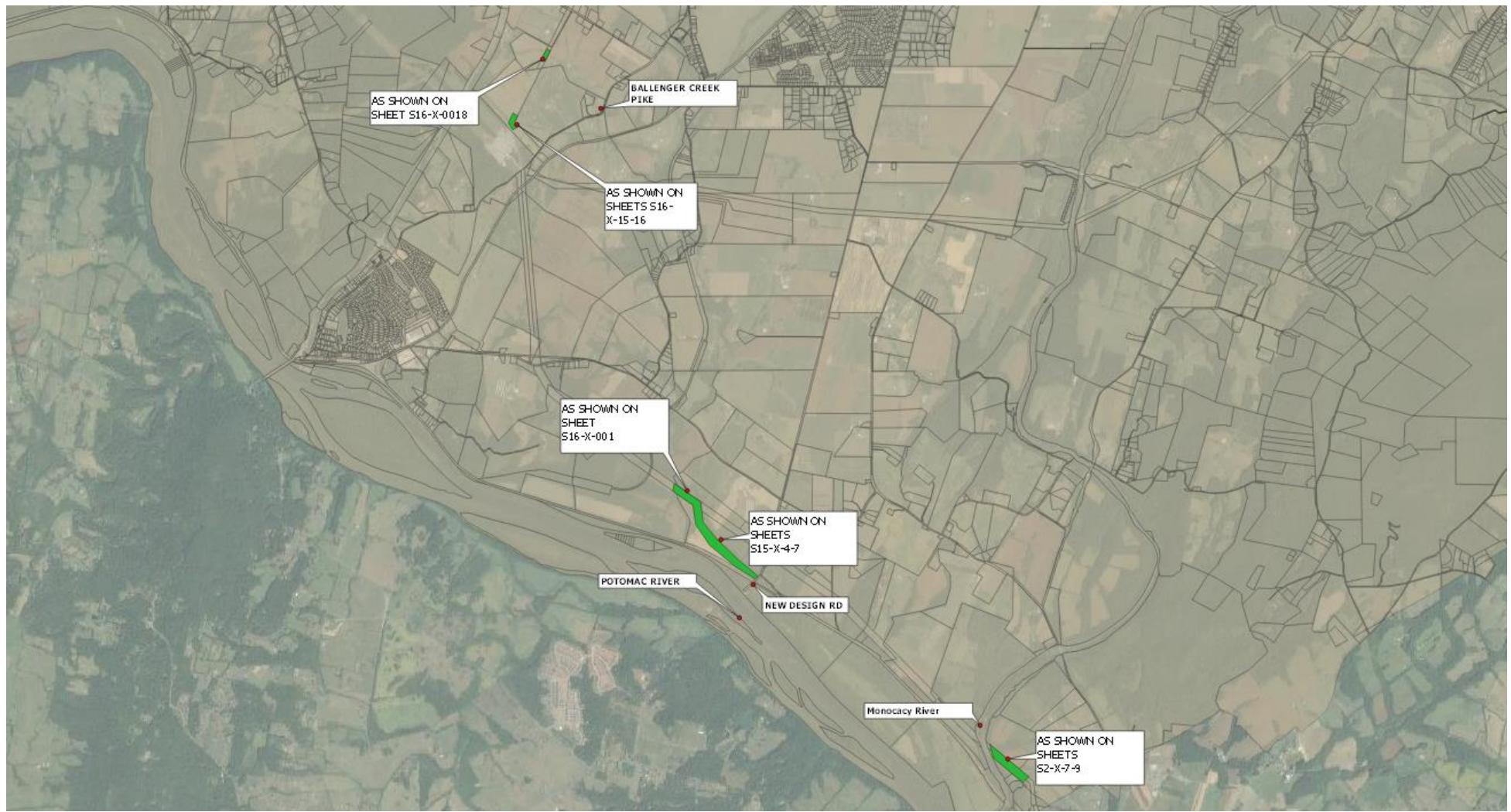


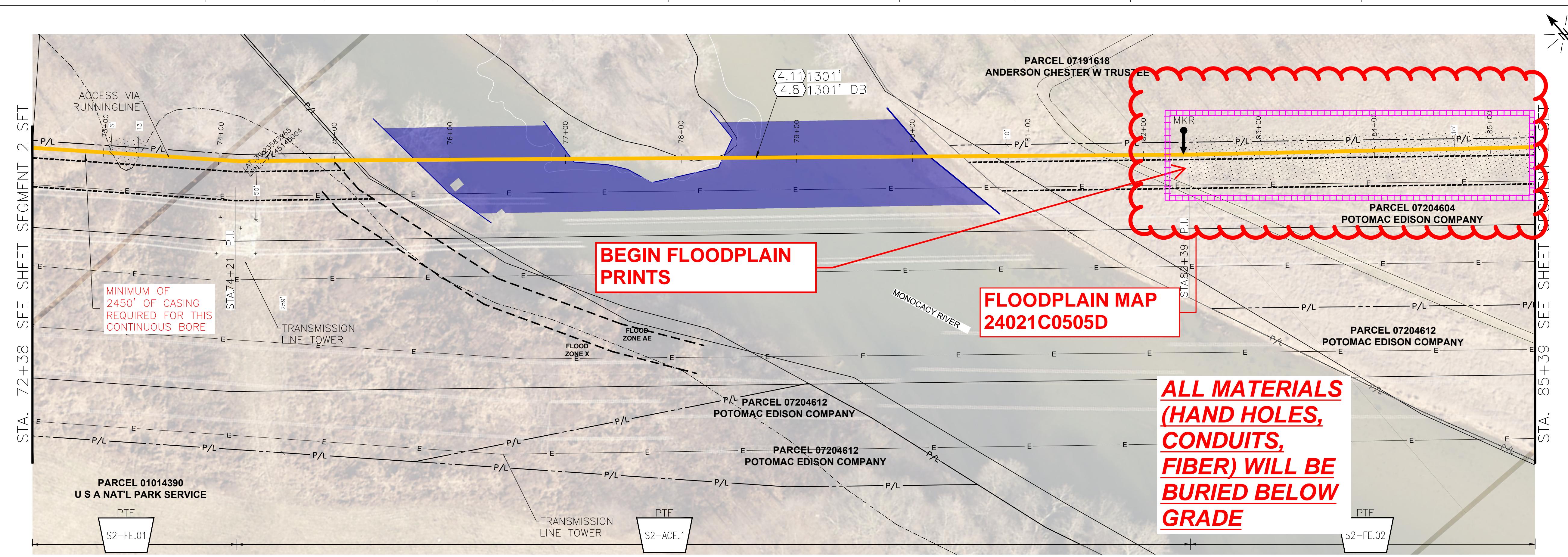
NOTES:

1. VAULTS SHALL BE PLACED A MINIMUM OF 10" SEPARATION UNLESS APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. VAULTS SHALL BE INSTALLED TO EXISTING GRADE AND AS LEVEL AS POSSIBLE.
3. THE VAULTS WILL BE INSTALLED PARALLEL AND SQUARED UP WITH STREETS AND SIDEWALKS.
4. THE BOTTOM OF THE PIT SHALL BE COMPACTED TO 95% TO ALLOW FOR A SOLID BASE PRIOR TO THE VAULT SET.
5. THE BACKFILL AROUND THE VAULT WILL BE NATIVE SOIL AND COMPACTED TO 95% AFTER EVERY 6".
6. THE BOTTOM OF THE PIT SHALL HAVE AT LEAST 6" OF 0.75" ROUND AGGREGATE TO ALLOW FOR DRAINAGE AND A SOLID BASE PRIOR TO THE SETTING OF THE VAULT.

VAULT INSTALLATION

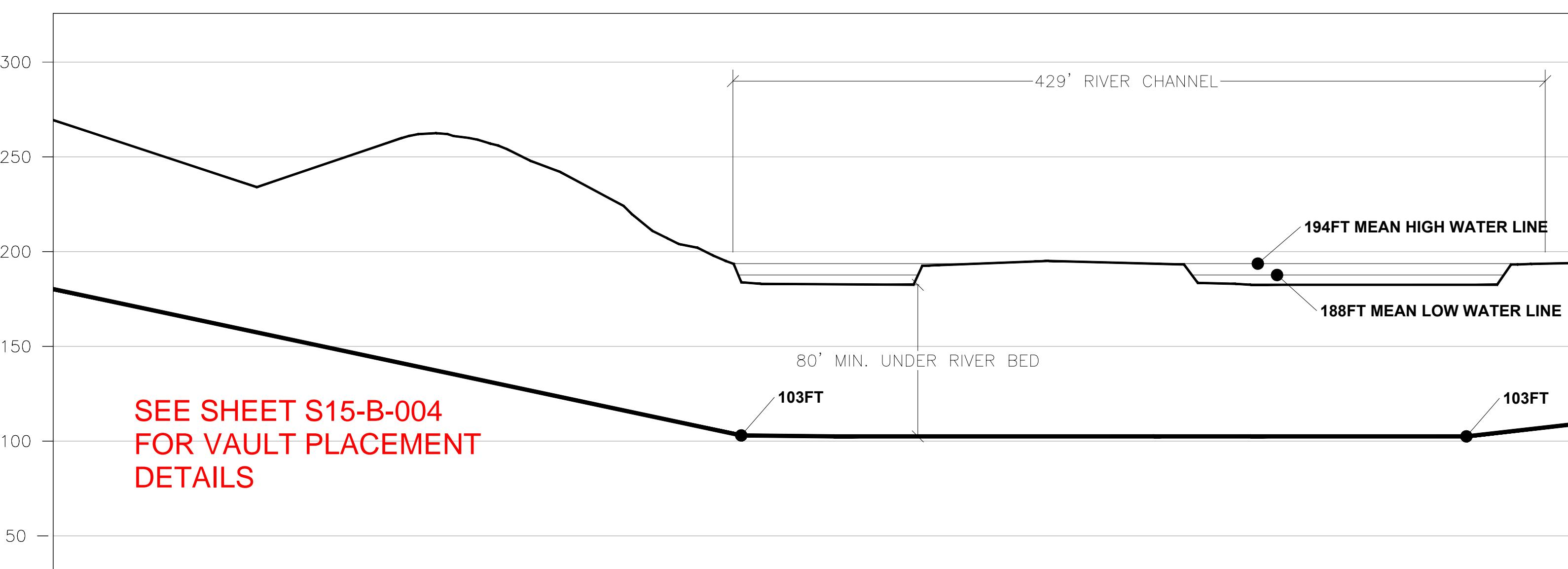
NOT TO SCALE





SPECIAL NOTE: NO WORK BELOW MONOCACY (OHW-OHW)
BETWEEN MARCH 1 - JUNE 15.

A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. Project sage involves no permanent cut or fill. All trenches and pits will be backfilled with native material or imported aggregate; any surplus material will be hauled off to an approved upland disposal location. Any temporary staging areas within the floodplain will be removed. Slope contours intersected by trenching will be restored to match preconstruction conditions and the surrounding terrain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.



BORE PROFILE

CONSTRUCTION UNITS					
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	STUB UP (2)2" C, LOC. WIRE & MULE TAPE 3	
4.4	OPEN TRENCH(24"W X 60"D WITH MIN. 48" COVER)	- FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	
4.5	OPEN TRENCH(24"W X 62"D WITH MIN. 48" COVER)	- FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	
4.6	SELECT BACKFILL	- SQFT	5.2	INSTALL 6' LOCATE MARKER POST	
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INSTALL RUNNING LINE MARKER	
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	1301 FT	-	-	-
4.9	INSTALL HH 24"X36"X30"	- EA	-	-	-
4.10	INSTALL ADD 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	-

FIRST ENERGY CONSTRUCTION COORRIDOR

The diagram illustrates the First Energy Construction Corridor. It features a vertical line on the left labeled "LIMIT OF DISTURBANCE*". From this line, a horizontal dashed line extends to the right, labeled "RUNNING LINE". A yellow dashed line, labeled "PERMANENT EASEMENT", is positioned 15' to the right of the running line. A white space between the running line and the permanent easement is labeled "TEMPORARY EASEMENT". A second yellow dashed line, labeled "15'", is located 15' to the right of the temporary easement. Arrows point from the text labels to their corresponding lines.

EASEMENT LINE. MAY BE SHOWN AS EXISTING PROPERTY LINE OR EXISTING UTILITY EASEMENT LINE FOR CLEARITY.

PERMANENT EASEMENT

TEMPORARY EASEMENT

15'

15'

RUNNING LINE

LIMIT OF DISTURBANCE*

* - LIMIT OF DISTURBANCE ONLY DURING TRENCHED PORTIONS

IMPACT AREAS	
DESCRIPTION	TOTAL SQFT
LOD PLAIN	12,525
PALUSTRINE EMERGENT WETLANDS (PEM)	-
PERENNIAL STREAMS (R3)	-
FORESTED WETLANDS (PFO)	-
TEMPORARY WETLAND BUFFER IMPACTS	-
-	-
-	-
-	-
-	-

quantum loophole



TELCON SERVICES, LLC

311

QUANTUM LOOPHOLE

ACCEPTED BY:

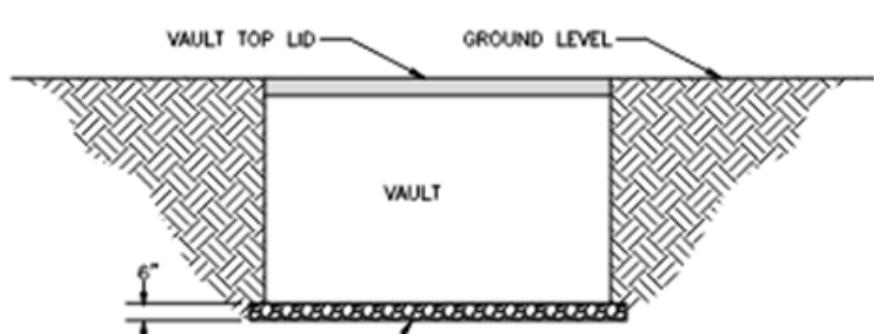
RICH PAUL-HUS

 quantum loophole <hr/>  TELCON SERVICES, LLC	QUANTUM LOOPHOLE				JOB NUMBER	REV	
	TELECOMMUNICATIONS FIBER NETWORK BUILD				PROJECT SAGE 2		
	BORE PLAN AND PROFILE SEGMENT 2 MONOCACY BORE				DRAWING NUMBER X-007		
1	MODIFIED PTF		2/24/22	RPE	RB	RI	
1	PERMIT CORRECTIONS		1/21/22	RPE	RB	RI	
0	ISSUED FOR PERMIT		11/28/21	RPE	RB	RI	
REV	REVISIONS		DATE	DRN	CKD	DSGN	APPD
DSGN	RI	7/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM THE CLIENT IS GRANTED.				
DRN	RPE	11/21					
CKD	RB	11/21					
SCALE: 1" = 50'			FOR 22x34 CONSTRUCTION DWG ONLY				

**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**

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PREVIOUS PAGE
S02-X-007**

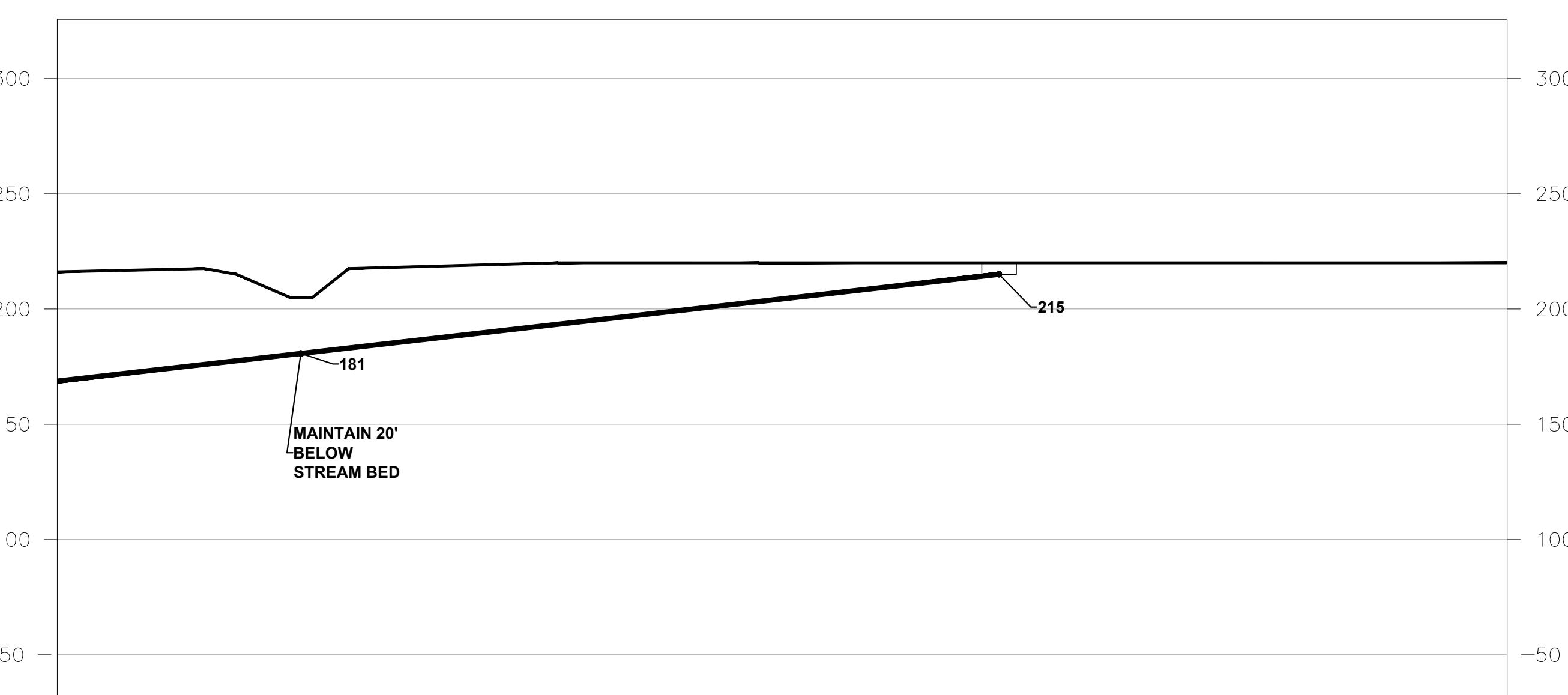
**AREA
WILL BE
BORED**



NOTES:

1. VAULTS SHALL BE PLACED A MINIMUM OF 10' SEPARATION UNLESS APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. VAULTS SHALL BE INSTALLED TO EXISTING GRADE AND AS LEVEL AS POSSIBLE.
3. THE VAULTS WILL BE INSTALLED PARALLEL AND SQUARED UP WITH STREETS AND SIDEWALKS.
4. THE BOTTOM OF THE PIT SHALL BE COMPAKTED TO 95% TO ALLOW FOR A SOLID BASE.
5. PROOF TEST THE VAULT SET.
6. THE BACKFILL AROUND THE VAULT WILL BE NATIVE SOIL AND COMPAKTED TO 95% AFTER EVERY 6".
7. THE BOTTOM OF THE PIT SHALL HAVE AT LEAST 6" OF 0.75" ROUND AGGREGATE TO ALLOW FOR DRAINAGE AND A SOLID BASE PRIOR TO THE SETTING OF THE VAULT.

VAULT INSTALLATION
NOT TO SCALE



BORE PROFILE

CONSTRUCTION UNITS				MATERIAL				IMPACT AREAS			
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL	REV	
4.2	CLEARING & RESTORATION - (TREE)	-	FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	609	FT	-	FLOOD PLAIN	17,219	
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	-	FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	1	EA	-	PALUSTRINE EMERGENT WETLANDS (PEM)	-	
4.4	OPEN TRENCH(24" W X 60" D WITH MIN. 48" COVER)	-	FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	-	EA	-	PERENNIAL STREAMS (R3)	-	
4.5	OPEN TRENCH(24" W X 62" D WITH MIN. 48" COVER)	200	FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	3	EA	-	FORESTED WETLANDS (PFO)	-	
4.6	SELECT BACKFILL	225	SQFT	5.2	INSTALL 6' LOCATE MARKER POST	1	EA	-	TEMPORARY WETLAND BUFFER IMPACT	-	
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	-	FT	5.3	INSTALL RUNNING LINE MARKER	-	EA	-	-	-	
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	409	FT	-	-	-	-	-	-	-	
4.9	INSTALL HH 24"X36"X30"	-	EA	-	-	-	-	-	-	-	
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	-	FT	-	-	-	-	-	-	-	

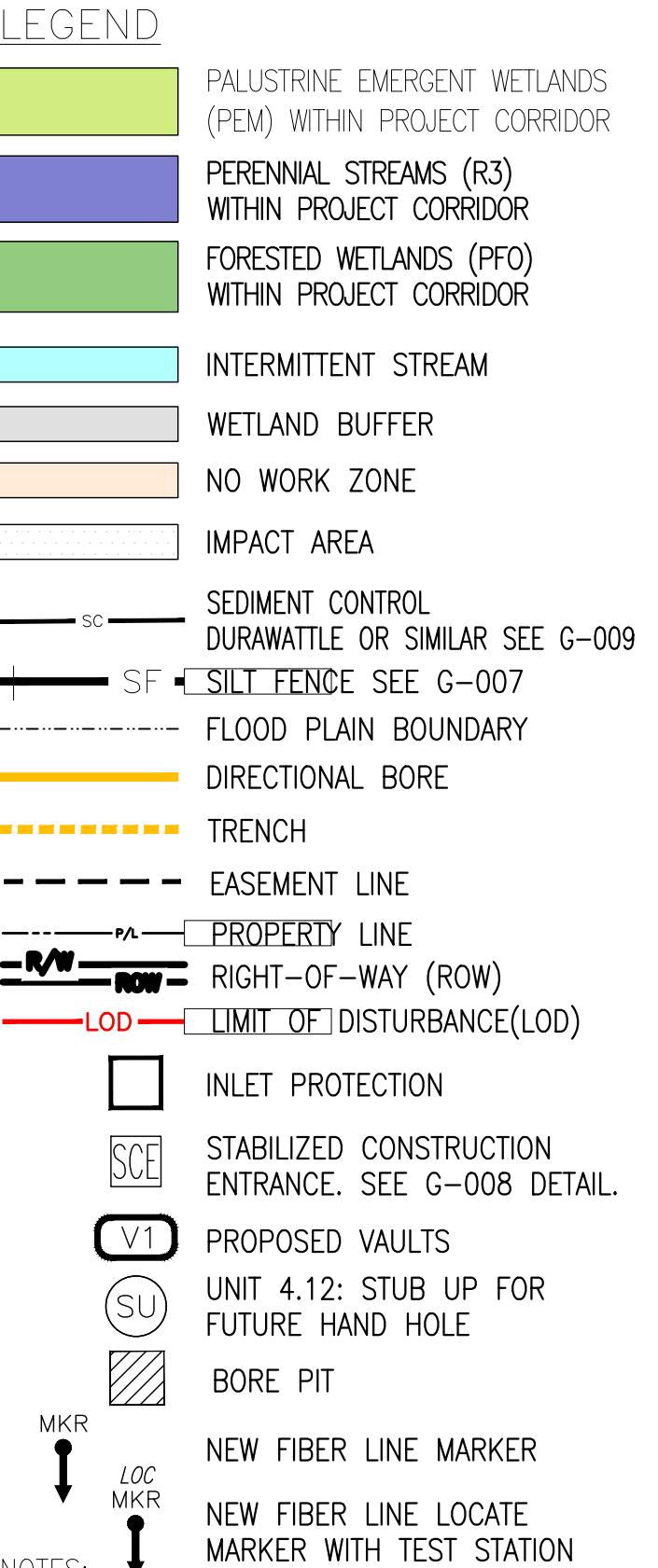
PRINTED
FULLSIZE
0 50 100
PLAN SCALE: 1 IN = 50 FT
0 100 200
PRINTED
HALF SIZE
0 20 40
PROFILE VERTICAL: 1 IN = 50 FT
0 40 80
PROFILE VERTICAL: 1 IN = 100 FT



QUANTUM LOOPHOLE

ACCEPTED BY:

RICH PAUL-HUS



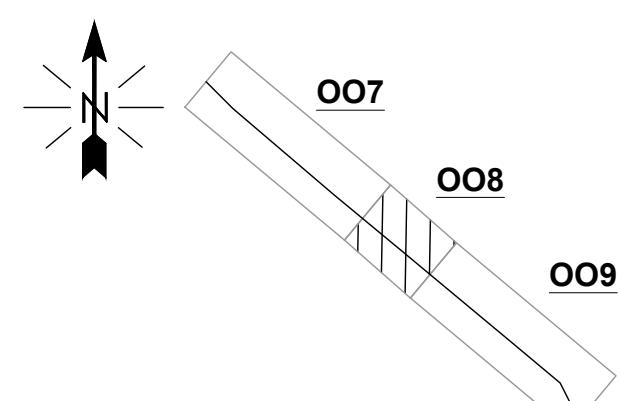
THE FOLLOWING ALIGNMENT AND GROUND PROFILE IS BASED ON USGS, ORTHOIMAGERY AND 2019 3DDEP BARE EARTH DIGITAL ELEVATION MODEL (DEM).

THE FINAL ALIGNMENT, CONTOUR ELEVATION DESIGN AND BORE PROFILE TO BE DETERMINED IN THE FIELD. ANY FIELD ADJUSTMENTS TO THE ALIGNMENT WILL BE WITHIN APPROVED EASEMENTS/RIGHT-OF-ENTRY AGREEMENTS.

KNOWN STRUCTURES ALONG THE RUNNING-LINE, WITH FOUNDATION TO BE REVIEWED IN THE FIELD TO DETERMINE AVOIDANCE.

CONSTRUCTION/WORK IS FOR REPRESENTATION ONLY AND MUST BE OUTLINED ON-SITE.

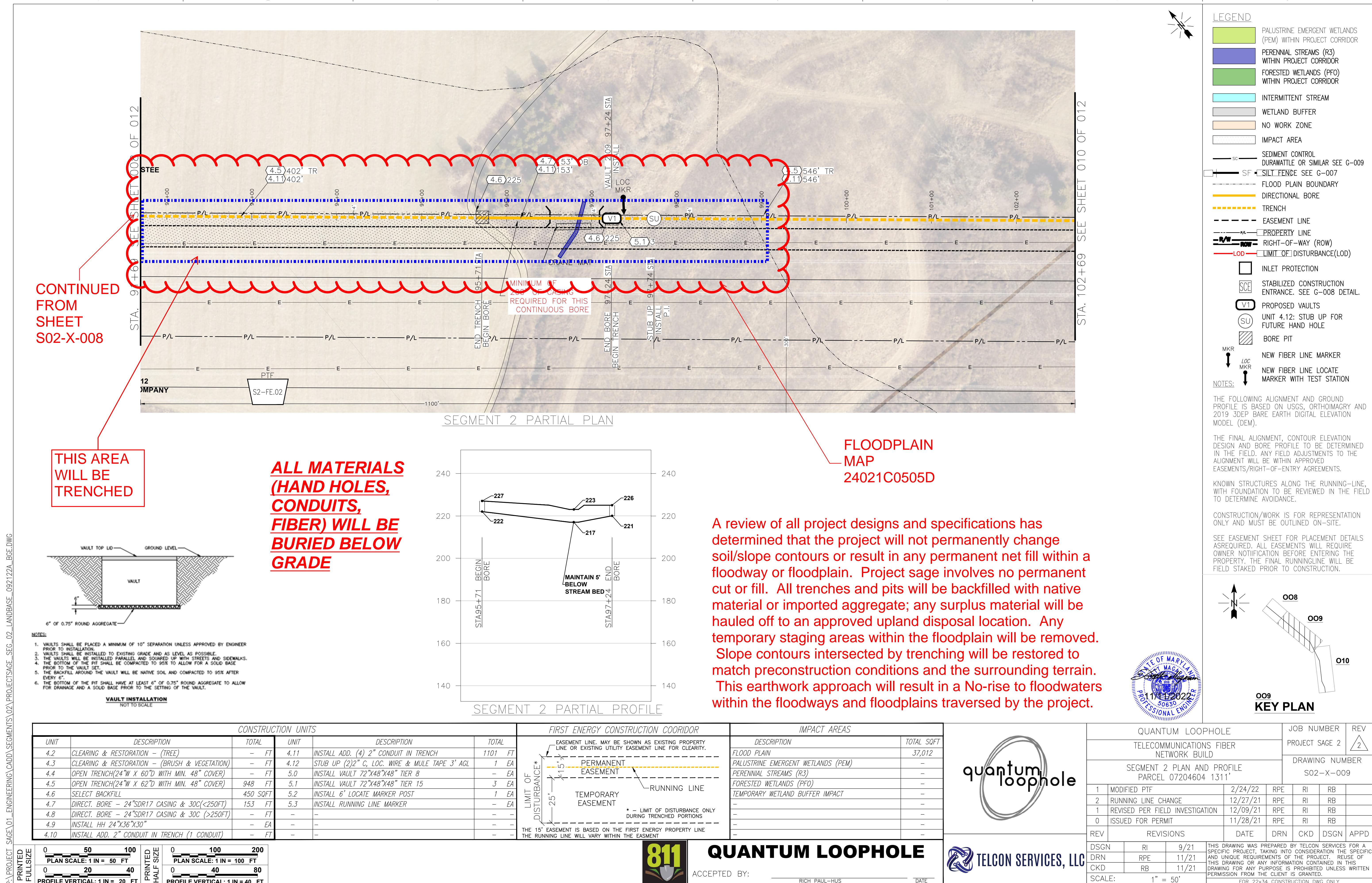
SEE EASEMENT SHEET FOR PLACEMENT DETAILS AS REQUIRED. ALL EASEMENTS WILL REQUIRE OWNER NOTIFICATION BEFORE ENTERING THE PROPERTY. THE FINAL RUNNINGLINE WILL BE FIELD STAKED PRIOR TO CONSTRUCTION.



**008
KEY PLAN**

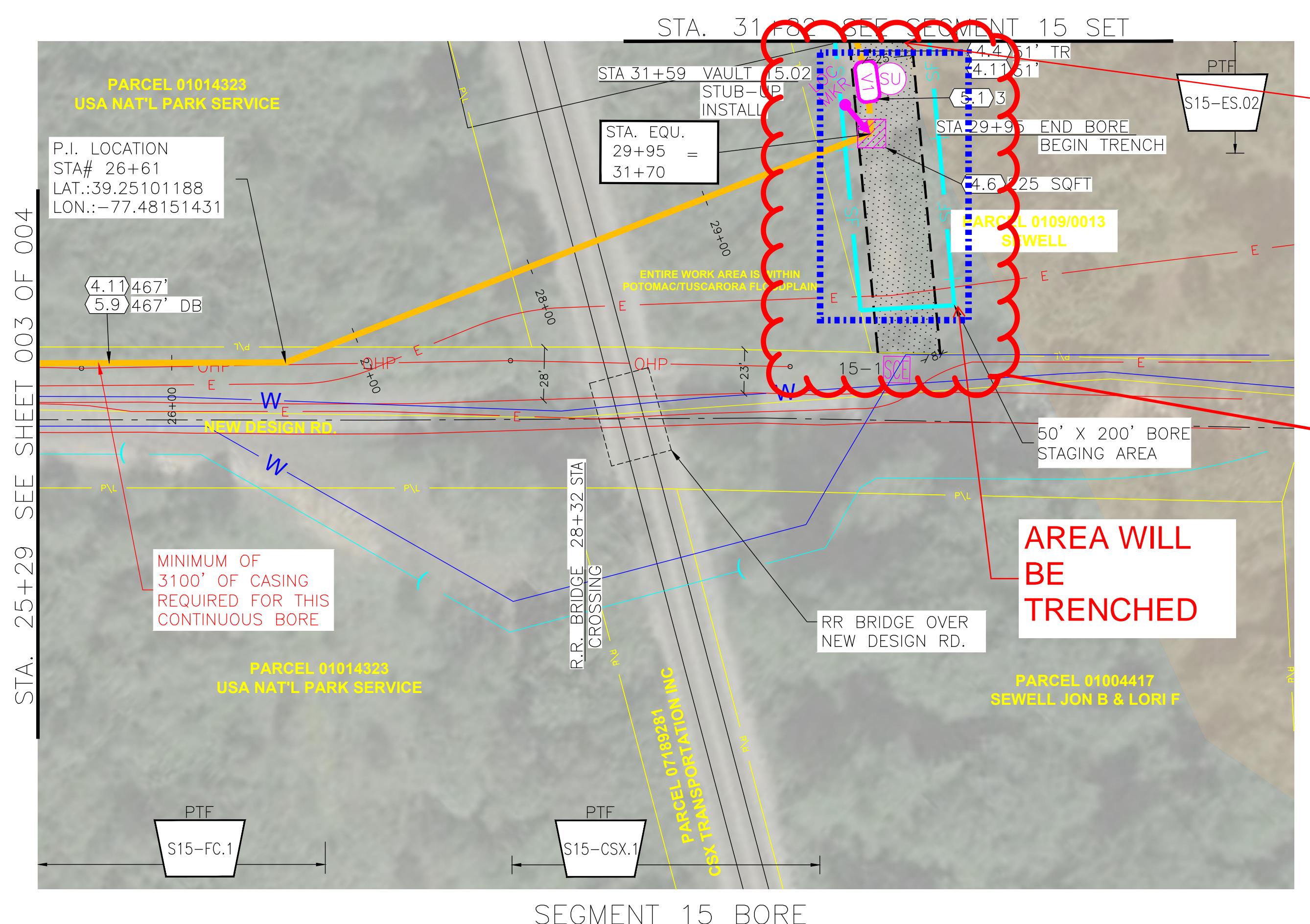
QUANTUM LOOPHOLE			JOB NUMBER	REV
TELECOMMUNICATIONS FIBER NETWORK BUILD			PROJECT SAGE 2	1
SEGMENT 2 PLAN AND PROFILE PARCEL 07204604 920'			DRAWING NUMBER	
1	MODIFIED PTF		2/24/22	RPE RI RB
1	REVISED PER FIELD INVESTIGATION		12/09/21	RPE RI RB
0	ISSUED FOR PERMIT		11/28/21	RPE RI RB
REV	REVISIONS		DATE	DRN CKD DSGN APPD
DSGN	RI	9/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM THE CLIENT IS GRANTED.	
DRN	RPE	11/21		
CKD	RB	11/21		
SCALE:	1" = 50'		FOR 22x34 CONSTRUCTION DWG ONLY	

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PROJECT SAGE\01_ENGINEERING\CADD\SEGMENTS\15 POTOMAC NORTH RIVER CROSSING\POTOMAC NORTH RIVER CROSSING_060322_N.DWG

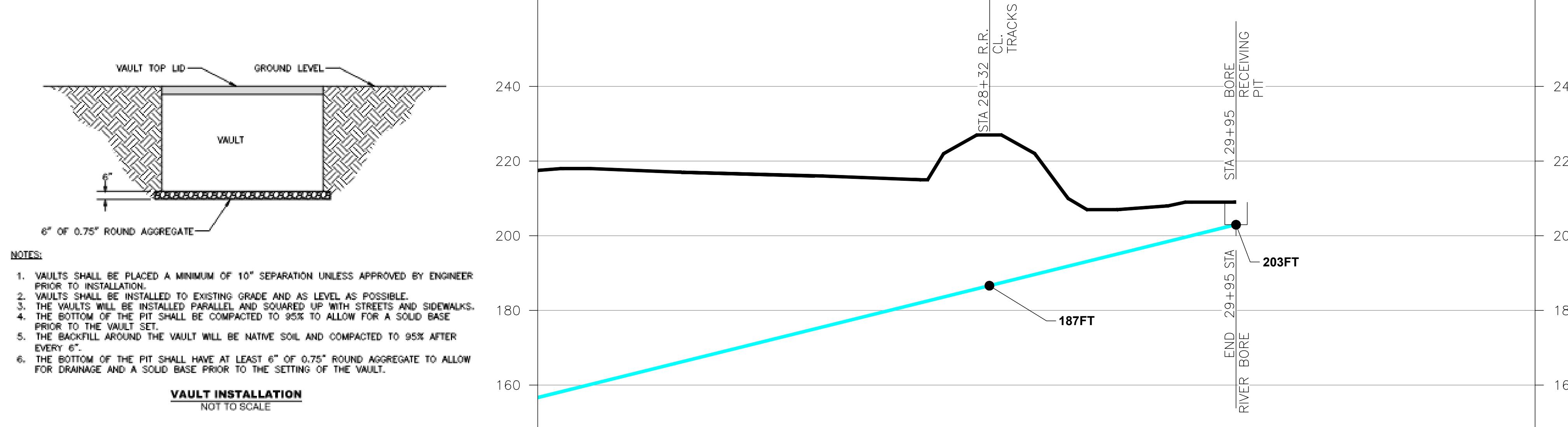
**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**



**CONTINUED
ON SHEET
S15-X-005**

FLOODPLAIN MAP 24021C0440D

Note: The Frederick County Division of Water and Sewer Utilities Construction Manager shall be notified, at least, 48 Hours prior to work within the location of public raw water lines and public water utility easement @ 301-600-2266



A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. Project sage involves no permanent cut or fill. All trenches and pits will be backfilled with native material or imported aggregate; any surplus material will be hauled off to an approved upland disposal location. Any temporary staging areas within the floodplain will be removed. Slope contours intersected by trenching will be restored to match preconstruction conditions and the surrounding terrain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.

A circular blue ink seal for a Professional Engineer. The outer ring contains the text 'STATE OF MARYLAND' at the top and 'PROFESSIONAL ENGINEER' at the bottom. The inner circle features a detailed illustration of a bridge, a lighthouse, and a ship, with the number '50630' printed below it. A handwritten signature is overlaid on the seal.

KEY PLAN

CONSTRUCTION UNITS						MATERIAL		IMPACT AREAS	
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL SQFT
4.2	CLEARING & RESTORATION - (TREE)	- FT	5.2	INSTALL 6' LOCATE MARKER POST	1 EA	-	-	FLOOD PLAIN	5650
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	5.5	ROCK ADDER - TRENCHING	- FT	-	-	PALUSTRINE EMERGENT WETLANDS (PEN)	-
4.4	OPEN TRENCH(24" W X 60" D WITH MIN. 48" COVER)	51 FT	5.6	ROCK ADDER - DIRECTIONAL BORE	- FT	-	-	PERENNIAL STREAMS (R3)	-
4.6	SELECT BACKFILL	225 SQFT	5.7	ASPHALT REMOVAL & RESTORAL	- SQFT	-	-	FORESTED WETLANDS (PFO)	-
4.9	INSTALL HH 24"X36"X30"	- EA	5.9	ROCK RIVER BORE - 24" SDR11 CASING & 30 C	467 FT	-	-	CRANE MAT CROSSINGS	-
4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	518 FT	6.0	TRAFFIC CONTROL	- EA	-	-	-	-
4.12	STUB UP (2)2" C, LOC. WIRE & MULE TAPE 3' AGL	1 EA	-	-	-	-	-	-	-
5.0	INSTALL VAULT 72"X48"X48" TIER 8	- EA	-	-	-	-	-	-	-
5.1	INSTALL VAULT 72"X48"X48" TIER 15	3 EA	-	-	-	-	-	-	-

PRINTED FULLSIZE	 PLAN SCALE: 1 IN = 50 FT	 PROFILE VERTICAL: 1 IN = 20 FT	 PLAN SCALE

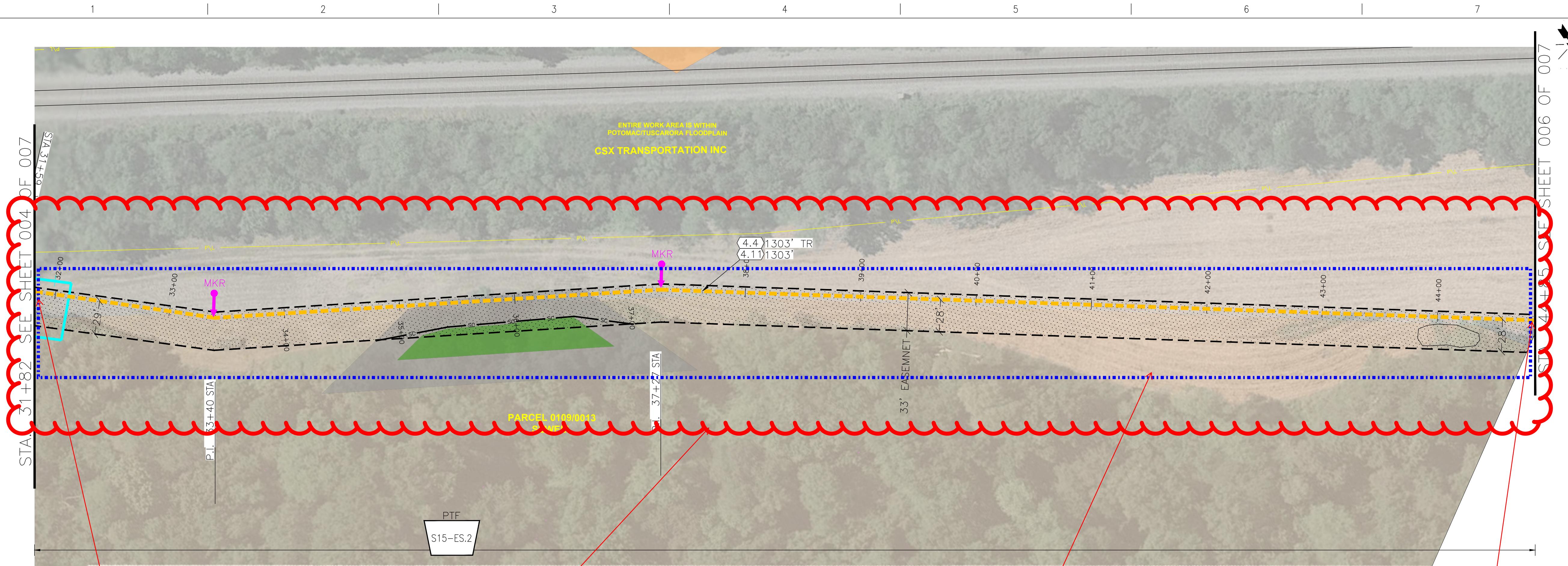
The logo for the 811 service, featuring the number 811 in large, bold, yellow-green digits above a stylized grey shovel icon, all set against a black background.

QUANTUM LOOPHOLE

ACCEPTED BY:

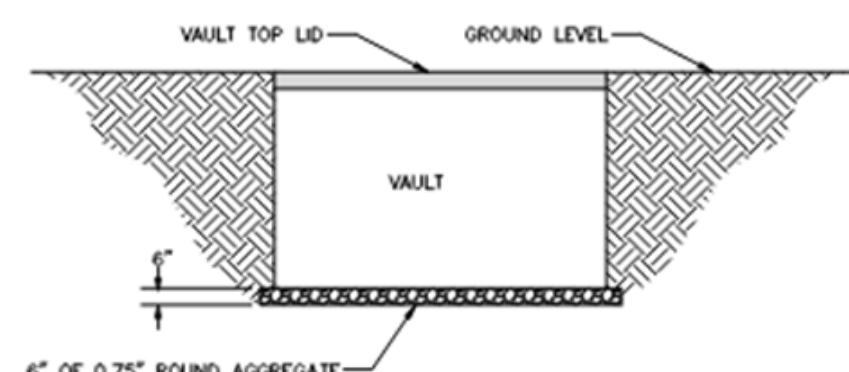
 TELCON SERVICES, LLC

QUANTUM LOOPHOLE						JOB NUMBER	REV 2
TELECOMMUNICATIONS FIBER NETWORK BUILD							
BORE PLAN AND PROFILE SEGMENT 15 NORTH POTOMAC RIVER CROSSING						DRAWING NUMBER S15-B-004	
2	RUNNING LINE CHANGE			08/25/22	RPE	RB	RI
1	ISSUED FOR ESC PERMIT			05/11/22	RPE	RB	RI
0	ISSUED FOR PERMIT			11/28/21	RPE	RB	RI
REV	REVISIONS			DATE	DRN	CKD	DSGN
DSGN	RI	7/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECI- AL AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRIT- TEN PERMISSION FROM THE CLIENT IS GRANTED.				
DRN	RPE	11/21					
CKD	RB	11/21					
SCALE: 1" = 50'			FOR 22x34 CONSTRUCTION DWG ONLY				



CONTINUED
FROM SHEET
S15-X-004

**FLOODPLAIN
MAP
24021C0440D**



NOTES:
1. VAULTS SHALL BE PLACED A MINIMUM OF 10' SEPARATION UNLESS APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. VAULTS SHALL BE PLACED AS NEAR AS POSSIBLE TO EXISTING GRADE AND AS LEVEL AS POSSIBLE.
3. VAULTS SHALL BE PLACED PARALLEL AND SQUARED UP WITH STREETS AND SIDEWALKS.
4. THE BOTTOM OF THE PIT SHALL BE COMPACTED TO 95% TO ALLOW FOR A SOLID BASE PRIOR TO THE VAULT SET.
5. THE SOIL AROUND THE VAULT WILL BE NATIVE SOIL AND COMPACTED TO 95% AFTER EVERY 6".
6. THE BOTTOM OF THE PIT SHALL HAVE AT LEAST 6" OF 0.75" ROUND AGGREGATE TO ALLOW FOR DRAINS AND A SOLID BASE PRIOR TO THE SETTING OF THE VAULT.

VАУЛТ INSTALLATION
NOT TO SCALE

**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**

THIS AREA WILL
BE TRENCHED

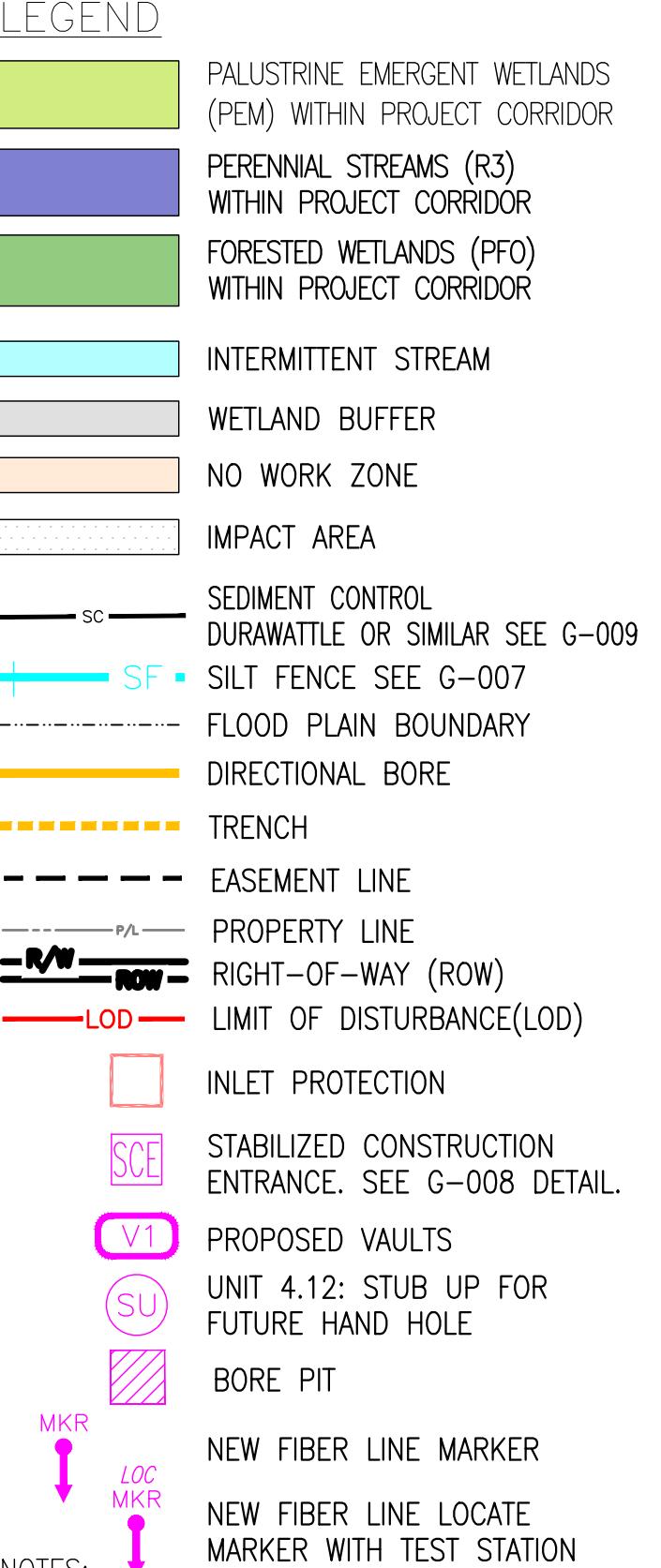
CONTINUED
ON SHEET
S15-X-006

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KEY PLAN

B-004



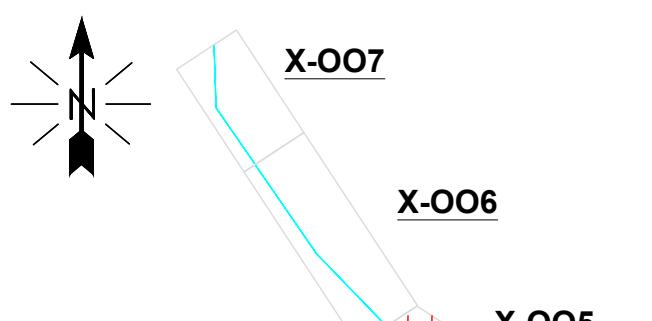
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QUANTUM LOOPHOLE

JOB NUMBER

REV

PROJECT SAGE

1

DRAWING NUMBER

S15-X-005

1

0

REVISIONS

DATE

DRN

CKD

DSCN

APPD

DSGN

RI

9/21

DRN

RPE

11/21

CKD

RB

11/21

SCALE:

1" = 50'

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FOR 22x34 CONSTRUCTION DWG ONLY

CONSTRUCTION UNITS				MATERIAL				IMPACT AREAS		
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL		
4.2	CLEARING & RESTORATION - (TREE)	-	FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	1303	FT	-	FLOOD PLAIN	43000
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	-	FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	-	EA	-	PALUSTRINE EMERGENT WETLANDS (PEM)	-
4.4	OPEN TRENCH(24" W X 60'D WITH MIN. 48" COVER)	1303	FT	5.0	INSTALL VAULT 72"x48"x48" TIER 8	-	EA	-	PERENNIAL STREAMS (R3)	-
4.5	OPEN TRENCH(24" W X 62'D WITH MIN. 48" COVER)	-	FT	5.1	INSTALL VAULT 72"x48"x48" TIER 15	-	EA	-	FORESTED WETLANDS (PFO)	-
4.6	SELECT BACKFILL	-	SQFT	5.2	INSTALL 6' LOCATE MARKER POST	-	EA	-	CRANE MAT CROSSINGS	-
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	-	FT	5.3	INSTALL RUNNING LINE MARKER	2	EA	-	TEMPORARY IMPACT TO WETLAND BUFFER	5840
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	-	FT	-	-	-	-	-	-	-
4.9	INSTALL HH 24"x36"x30"	-	EA	-	-	-	-	-	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	-	FT	-	-	-	-	-	-	-

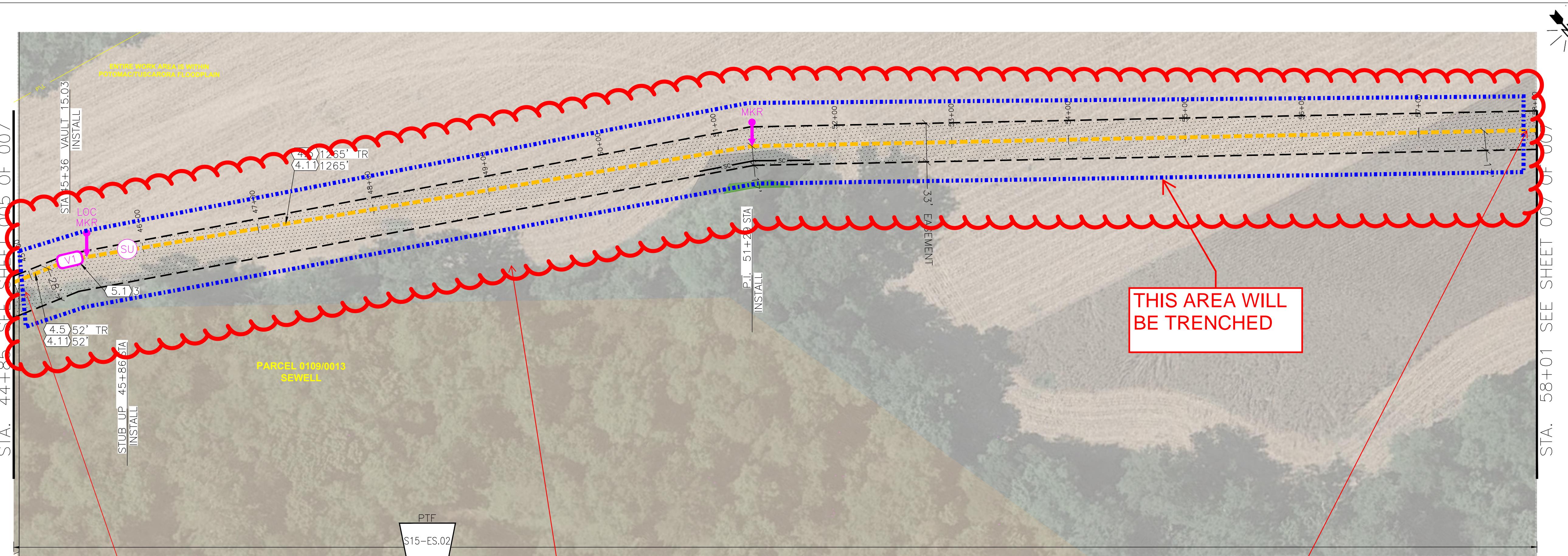
PRINTED
FULLSIZE
0 50 100
PLAN SCALE: 1 IN = 100 FT
PRINTED
HALF SIZE
0 100 200
PLAN SCALE: 1 IN = 200 FT
0 50 100
PROFILE VERTICAL: 1 IN = 100 FT
0 100 200
PROFILE VERTICAL: 1 IN = 100 FT



QUANTUM LOOPHOLE

ACCEPTED BY: RICH PAUL-HUS DATE



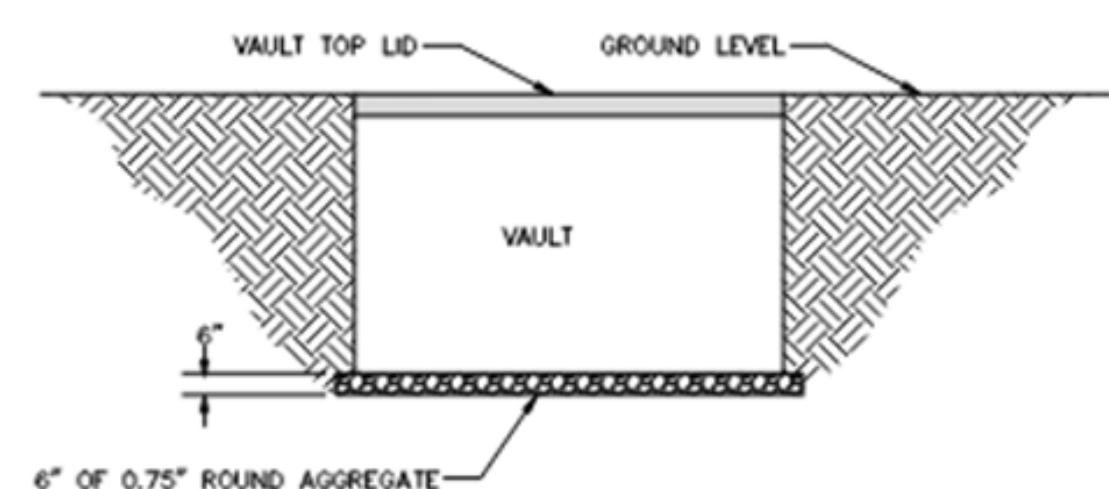


CONTINUED
FROM SHEET
S15-X-005

**FLOODPLAIN
MAP
24021C0440D**

SEGMENT 15 PARTIAL PLAN

CONTINUED
ON SHEET
S15-X-007



NOTES:

1. VAULTS SHALL BE PLACED A MINIMUM OF 10" SEPARATION UNLESS APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. VAULTS SHALL BE INSTALLED TO EXISTING GRADE AND AS LEVEL AS POSSIBLE.
3. VAULTS WILL BE INSTALLED PARALLEL AND SQUARED UP WITH STREETS AND SIDEWALKS.
4. THE BOTTOM OF THE PIT SHALL BE COMPACTED TO 95% TO ALLOW FOR A SOLID BASE PRIOR TO THE VAULT SET.
5. THE BACKFILL AROUND THE VAULT WILL BE NATIVE SOIL AND COMPACTED TO 95% AFTER EVERY 6".
6. THE BOTTOM OF THE PIT SHALL HAVE AT LEAST 6" OF 0.75" ROUND AGGREGATE TO ALLOW FOR DRAINAGE AND A SOLID BASE PRIOR TO THE SETTING OF THE VAULT.

VAULT INSTALLATION
NOT TO SCALE

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GRADE**

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KEY PLAN B-004

QUANTUM LOOPHOLE			JOB NUMBER	REV
TELECOMMUNICATIONS FIBER NETWORK BUILD			PROJECT SAGE	1
SEGMENT 15 PLAN AND BORE PROFILE PARCEL 0109/0013 NW OF NEW DESIGN RD			DRAWING NUMBER	S15-X-006
1	REVISED PER FIELD INVESTIGATION	12/09/21	RPE	RI RB
0	ISSUED FOR PERMIT	11/28/21	RPE	RI RB
REV	REVISIONS	DATE	DRN	CKD DSGN APPD
DSGN	RI	9/21		
DRN	RPE	11/21		
CKD	RB	11/21		
SCALE: 1" = 50'			FOR 22x34 CONSTRUCTION DWG ONLY	

PRINTED FULLSIZE	0 50 100 PLAN SCALE: 1 IN = 100 FT	0 100 200 PLAN SCALE: 1 IN = 200 FT	0 50 100 PROFILE VERTICAL: 1 IN = 100 FT
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QUANTUM LOOPHOLE

ACCEPTED BY:

RICH PAUL-HUS



LEGEND
PALUSTRINE EMERGENT WETLANDS (PEM) WITHIN PROJECT CORRIDOR
PERENNIAL STREAMS (R3) WITHIN PROJECT CORRIDOR
FORESTED WETLANDS (PFO) WITHIN PROJECT CORRIDOR
INTERMITTENT STREAM
WETLAND BUFFER
NO WORK ZONE
IMPACT AREA
SC SEDIMENT CONTROL DURAWATTE OR SIMILAR SEE G-009
SF SILT FENCE SEE G-007
FLOOD PLAIN BOUNDARY
DIRECTIONAL BORE
TRENCH
EASEMENT LINE
PROPERTY LINE
ROW RIGHT-OF-WAY (ROW)
LOD LIMIT OF DISTURBANCE (LOD)
INLET PROTECTION
STABILIZED CONSTRUCTION ENTRANCE. SEE G-008 DETAIL.
V1 PROPOSED VIALTS
SU UNIT 4.12: STUB UP FOR FUTURE HAND HOLE
BORE PIT
MKR NEW FIBER LINE MARKER
LOC MKR NEW FIBER LINE LOCATE MARKER WITH TEST STATION

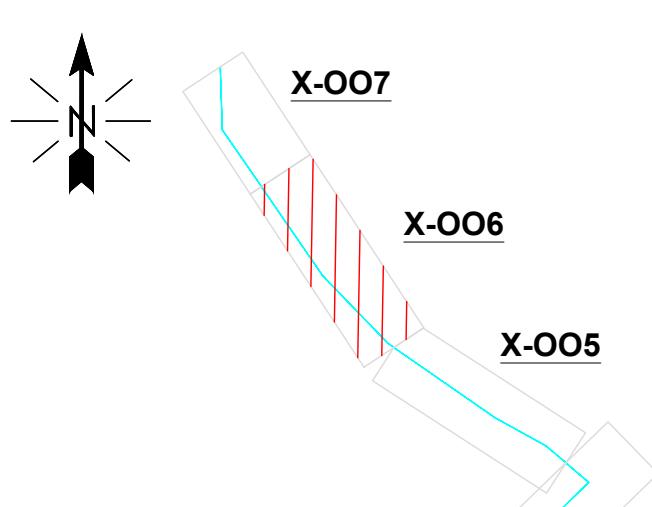
NOTES:
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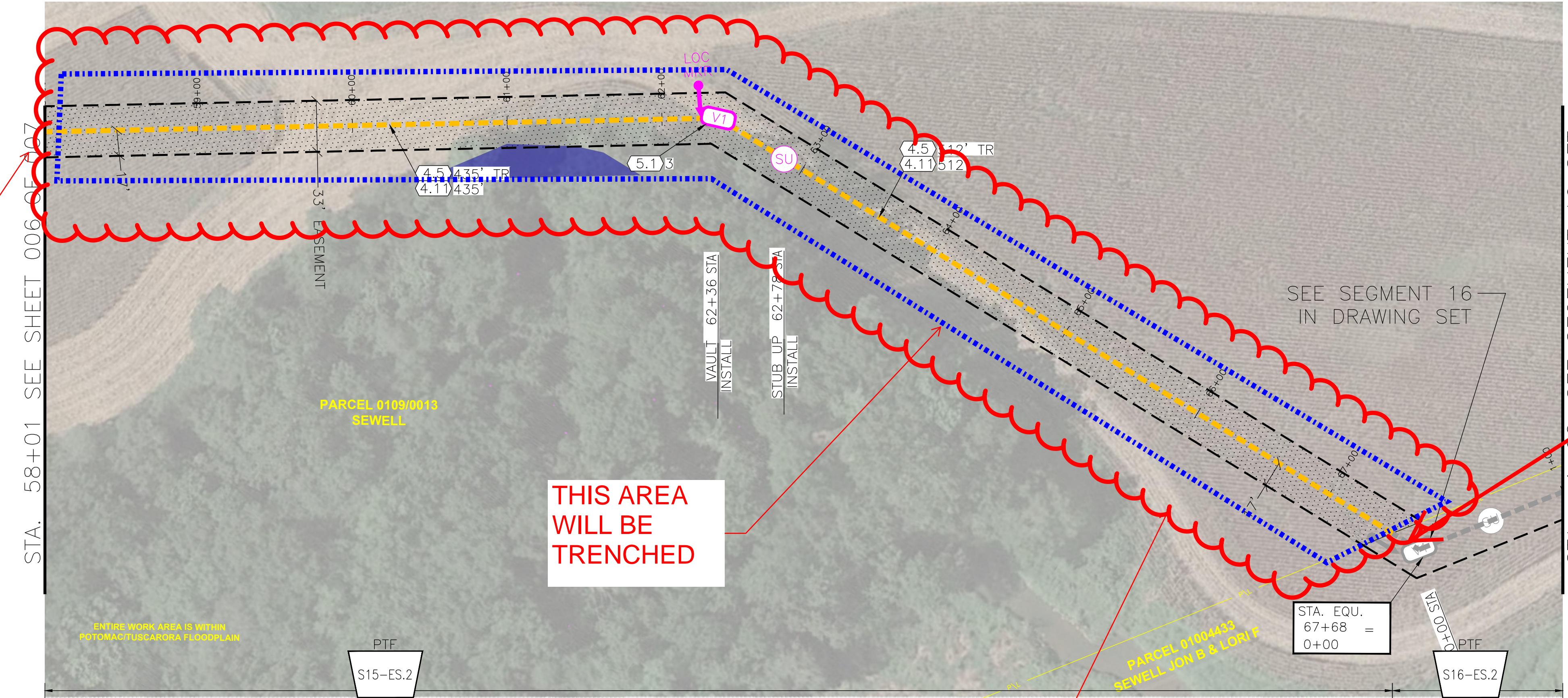
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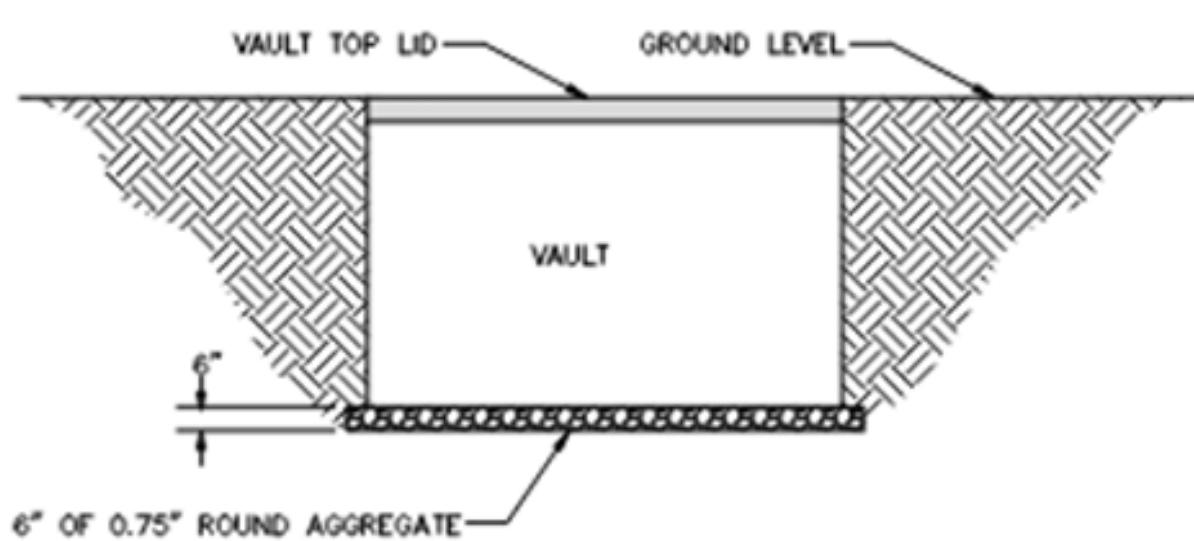




SEGMENT 15 PARTIAL PLAN

FLOODPLAIN MAP 24021C0440D

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NOTES:

1. VAULTS SHALL BE PLACED A MINIMUM OF 10" SEPARATION UNLESS APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. VAULTS SHALL BE INSTALLED TO EXISTING GRADE AND AS LEVEL AS POSSIBLE.
3. THE VAULTS WILL BE INSTALLED PARALLEL AND SQUARED UP WITH STREETS AND SIDEWALKS.
4. THE BOTTOM OF THE PIT SHALL BE COMPACTED TO 95% TO ALLOW FOR A SOLID BASE PRIOR TO THE VAULT SET.
5. THE BACKFILL AROUND THE VAULT WILL BE NATIVE SOIL AND COMPACTED TO 95% AFTER EVERY 6".
6. THE BOTTOM OF THE PIT SHALL HAVE AT LEAST 6" OF 0.75" ROUND AGGREGATE TO ALLOW FOR DRAINAGE AND A SOLID BASE PRIOR TO THE SETTING OF THE VAULT.

VAULT INSTALLATION NOT TO SCALE

CONSTRUCTION UNITS				MATERIAL				IMPACT AREAS	
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL
4.2	CLEARING & RESTORATION - (TREE)	-	FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	947	FT	FLOOD PLAIN	31241
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	-	FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3" AGL	1	EA	PALUSTRINE EMERGENT WETLANDS (PEM)	-
4.4	OPEN TRENCH(24" W X 60" D WITH MIN. 48" COVER)	-	FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	-	EA	PERENNIAL STREAMS (R3)	-
4.5	OPEN TRENCH(24" W X 62" D WITH MIN. 48" COVER)	947	FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	3	EA	FORESTED WETLANDS (PFO)	-
4.6	SELECT BACKFILL	-	SQFT	5.2	INSTALL 6" LOCATE MARKER POST	1	EA	CRANE MAT CROSSINGS	-
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	-	FT	5.3	INSTALL RUNNING LINE MARKER	-	EA	TEMPORARY IMPACT TO WETLAND BUFFER	-
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	-	FT	-	-	-	-	-	-
4.9	INSTALL HH 24"X36"X30"	-	EA	-	-	-	-	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	-	FT	-	-	-	-	-	-

PRINTED
FULLSIZE
0 50 100
PLAN SCALE: 1 IN = 100 FT
0 50 100
PROFILE VERTICAL: 1 IN = 100 FT

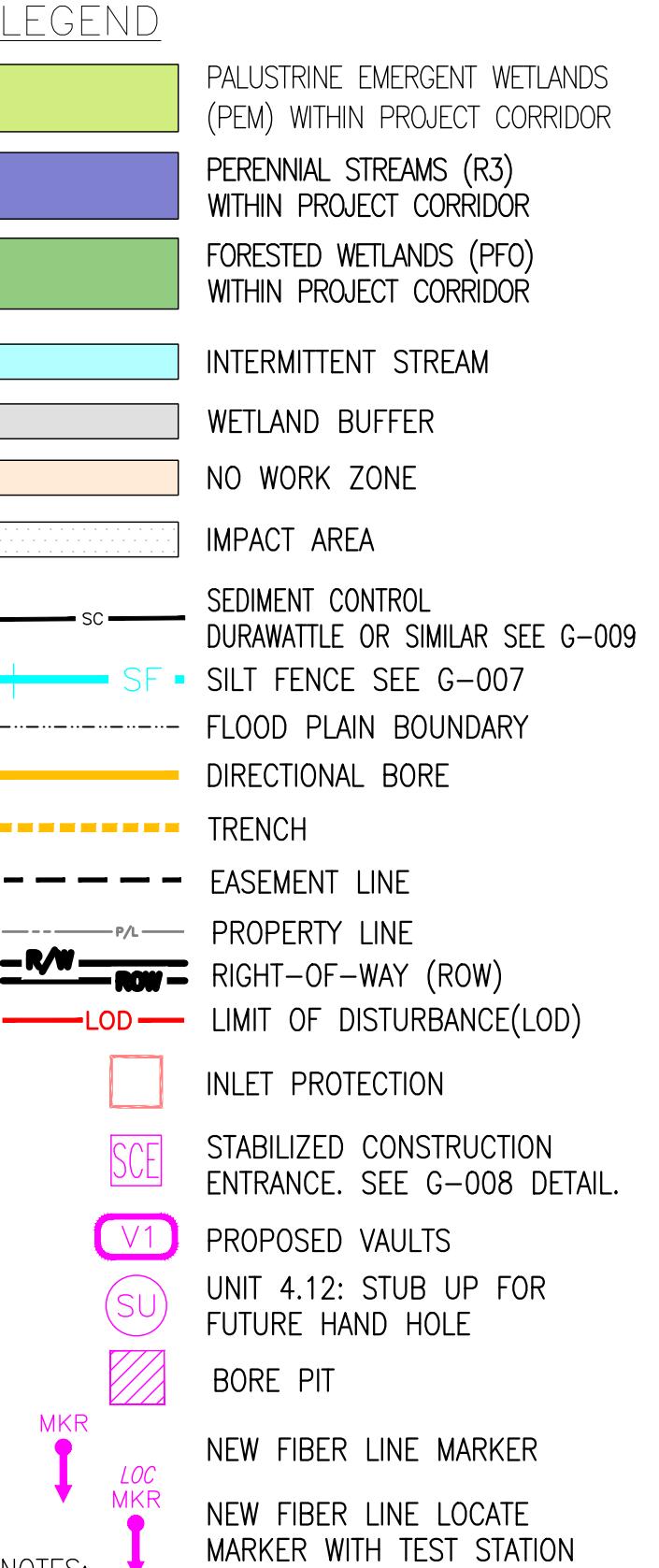
PRINTED
HALF SIZE
0 100 200
PLAN SCALE: 1 IN = 200 FT
0 100 200
PROFILE VERTICAL: 1 IN = 100 FT



QUANTUM LOOPHOLE

ACCEPTED BY:

RICH PAUL-HUS



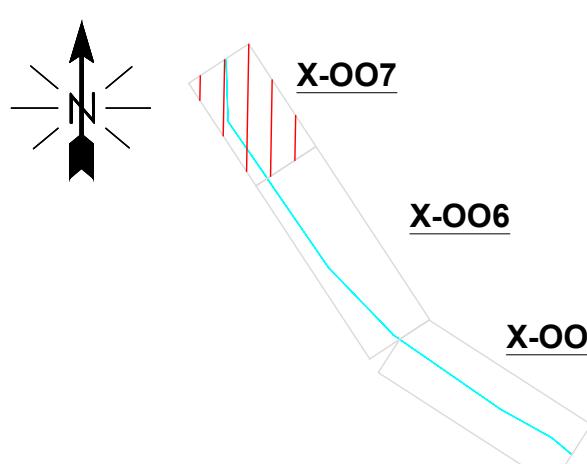
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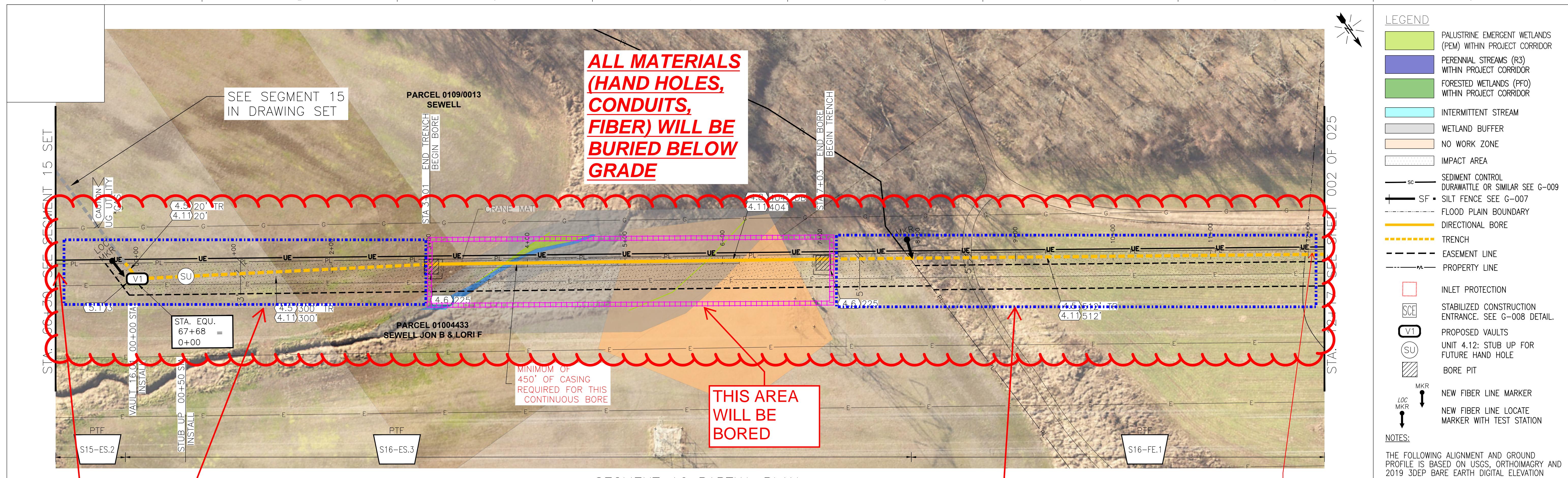
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KEY PLAN

QUANTUM LOOPHOLE			JOB NUMBER	REV
TELECOMMUNICATIONS FIBER NETWORK BUILD			PROJECT SAGE	1
SEGMENT 15 PLAN AND BORE PROFILE PARCEL 0109/0013 NW OF NEW DESIGN RD			DRAWING NUMBER	S15-X-007
REV	REVISIONS	DATE	DRN	CKD
1	PERMIT CORRECTION	1/21/22	RPE	RI
0	ISSUED FOR PERMIT	11/28/21	RPE	RI
REVISIONS	DATE	DRN	CKD	DSGN
DSGN	RI	9/21	DRN	APPD
DRN	RPE	11/21	DRN	
CKD	RB	11/21	CKD	
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SCALE: 1" = 50' FOR 22x34 CONSTRUCTION DWG ONLY				



SEGMENT 16 PARTIAL PLAN

**THIS AREA
WILL BE
TRENCHED**

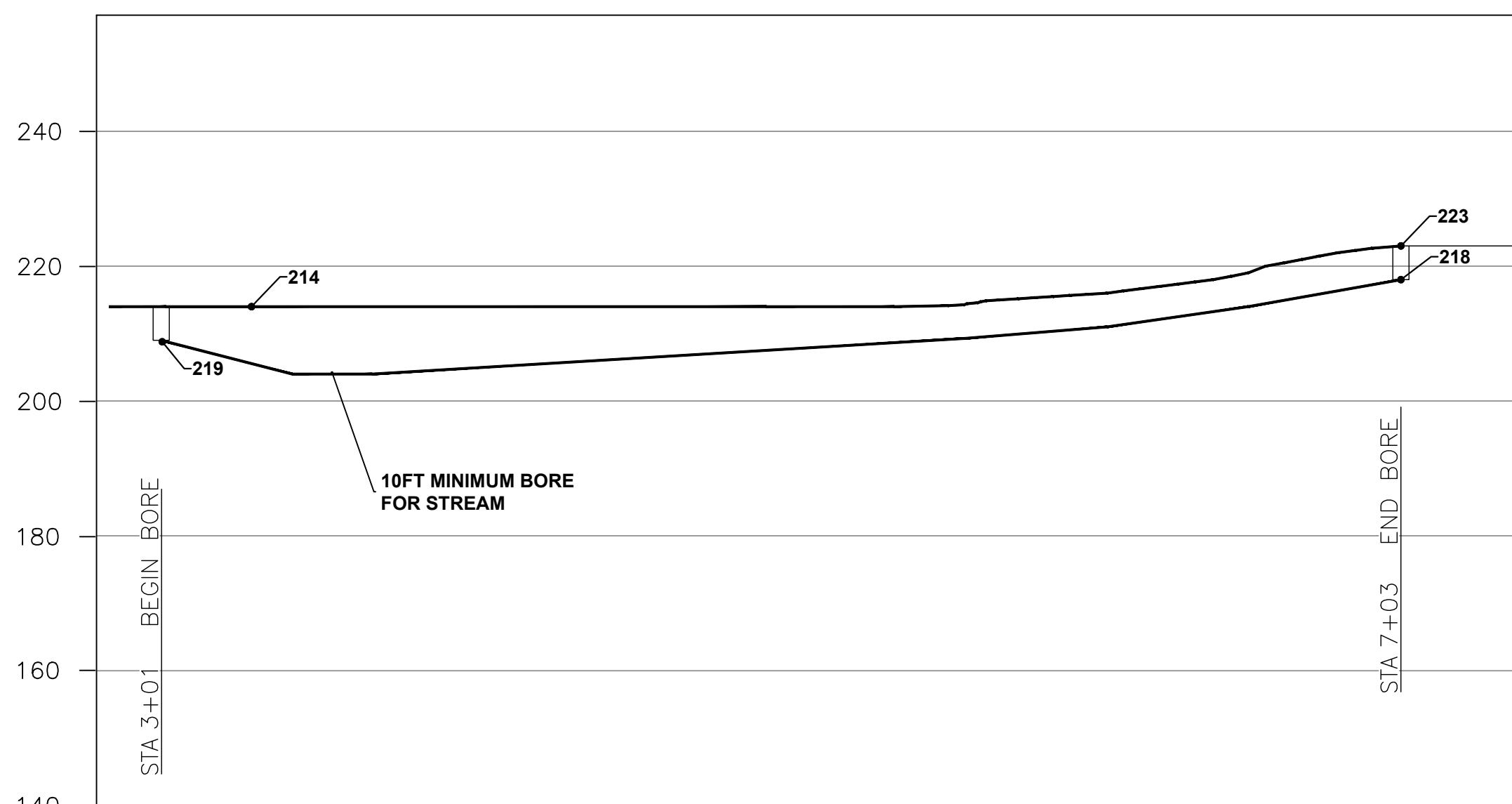
CONTINUED
FROM
SHEET
S15-X-007

SEE SHEET
S16-X-016
FOR HAND
HOLE
DETAILS

**THIS AREA
WILL BE
TRENCHED**

END OF
FLOODPLAIN
MAP
24021C0440D

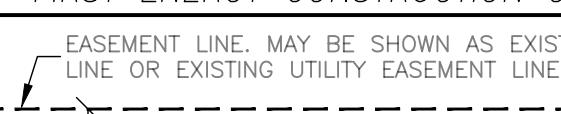
A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. Project sage involves no permanent cut or fill. All trenches and pits will be backfilled with native material or imported aggregate; any surplus material will be hauled off to an approved upland disposal location. Any temporary staging areas within the floodplain will be removed. Slope contours intersected by trenching will be restored to match preconstruction conditions and the surrounding terrain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.



SEGMENT 16 PARTIAL PROFILE

CONSTRUCTION UNITS				
UNIT	DESCRIPTION	TOTAL	UNIT	
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	/
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	S
4.4	OPEN TRENCH(24" W X 60" D WITH MIN. 48" COVER)	- FT	5.0	/
4.5	OPEN TRENCH(24" W X 62" D WITH MIN. 48" COVER)	832 FT	5.1	/
4.6	SELECT BACKFILL	450 SQFT	5.2	/
4.7	DIRECT. BORE - 24" SDR17 CASING & 30C(<250FT)	- FT	5.3	/
4.8	DIRECT. BORE - 24" SDR17 CASING & 30C (>250FT)	404 FT	-	-
4.9	INSTALL HH 24"X36"X30"	- EA	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-

DESCRIPTION		TOTAL	FIRST ENERGY CONSTRUCTION CORRIDOR
INSTALL ADD. (4) 2" CONDUIT IN TRENCH		1236 FT	EASEMENT LINE. MAY BE SHOWN AS EXISTING PROPERTY LINE OR EXISTING UTILITY EASEMENT LINE FOR CLARITY.
STUB UP (2)2" C, LOC. WIRE & MULE TAPE 3' AGL		1 EA	
INSTALL VAULT 72"X48"X48" TIER 8		— EA	
INSTALL VAULT 72"X48"X48" TIER 15		3 EA	
INSTALL 6' LOCATE MARKER POST		1 EA	
INSTALL RUNNING LINE MARKER		1 EA	
—		— —	
—		— —	
—		— —	
—		— —	



The diagram illustrates the First Energy Construction Corridor. It features a dashed line representing the 'RUNNING LINE' within a 15' wide 'PERMANENT EASEMENT'. Outside this, a wider area is marked as a 'TEMPORARY EASEMENT' with a width of 25'. The text 'EASEMENT LINE. MAY BE SHOWN AS EXISTING PROPERTY LINE OR EXISTING UTILITY EASEMENT LINE FOR CLARITY.' is located at the top right. Below the diagram, the text 'THE 15' EASEMENT IS BASED ON THE FIRST ENERGY PROPERTY LINE THE RUNNING LINE WILL VARY WITHIN THE EASMENT' is provided.

EST. POTHOLE LOCATES		TOTAL E
DESCRIPTION		
-		-
-		-
-		-

IMPACT AREAS		TOTAL S
DESCRIPTION		
FLOOD PLAIN		14304
PALUSTRINE EMERGENT WETLANDS (PEM)		1511
PERENNIAL STREAMS (R3)		-
FORESTED WETLANDS (PFO)		-
TEMPORARY WETLAND BUFFER IMPACTS		584

The logo for Quantum Loophole features the word "quantum" stacked above "loophole" in a bold, sans-serif font. The letters are partially obscured by a large, thin-lined circle that loops around the text, creating a sense of motion or completeness. To the left of the logo, there is a vertical decorative element consisting of a series of parallel lines of varying lengths, resembling a ruler or a staircase.

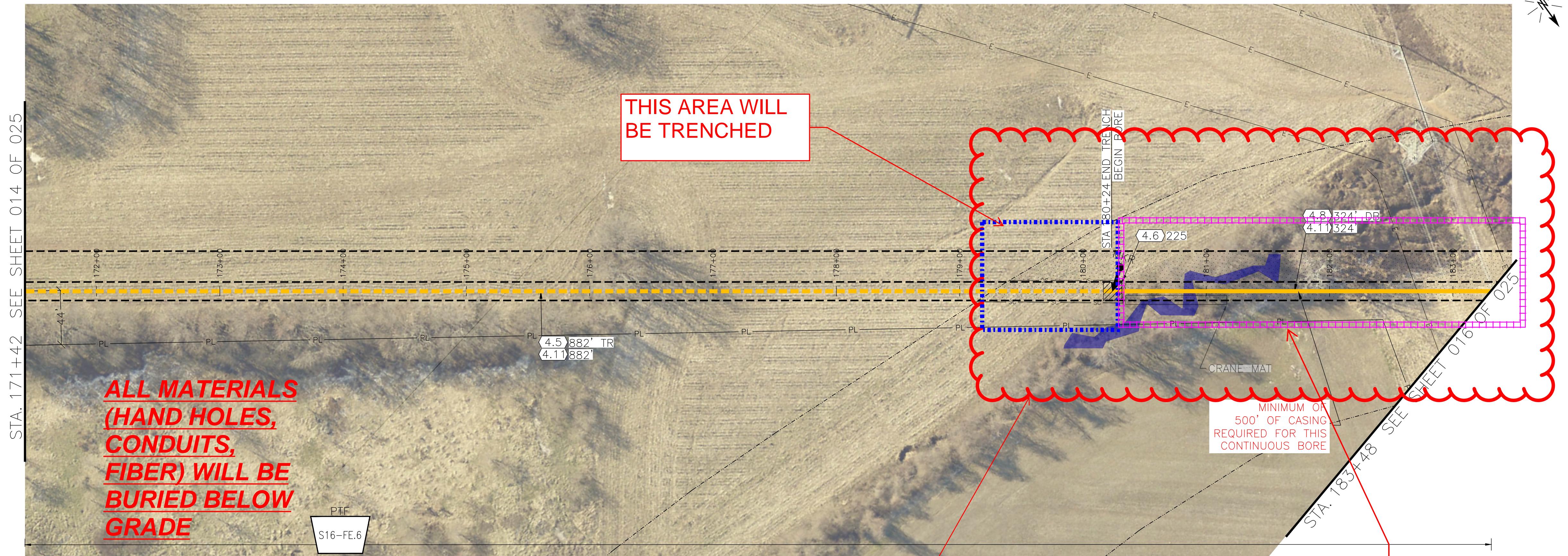
 TELCON SERVICES, LLC

QUANTUM LOOPHOLE			JOB NUMBER PROJECT SAGE	REV			
TELECOMMUNICATIONS FIBER NETWORK BUILD				3			
SEGMENT 16 PLAN AND PROFILE #0109-0014-0032 & P#0109-0014-0033			DRAWING NUMBER S16-X-001				
ISSUED FOR ESC PERMIT			05/11/22	RPE	RB	RI	
MODIFIED PTF			2/24/22	RPE	RB	RI	
PERMIT CORRECTIONS			1/21/22	RPE	RB	RI	
REVISED PER FIELD INVESTIGATION			12/09/21	RPE	RB	RI	
REVISIONS			DATE	DRN	CKD	DSGN	APPD
N	RI	9/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM THE CLIENT IS GRANTED.				
	RPE	11/21					
	RB	11/21					
LE:	1" = 50'		FOR 22x34 CONSTRUCTION DWG ONLY				

C:\PROJECT_SAGE\01_ENGINEERING\CADD\SEGMENTS\16\PROJECTSAGE_SEG16_LANDBASE_ESC_063022.DWG



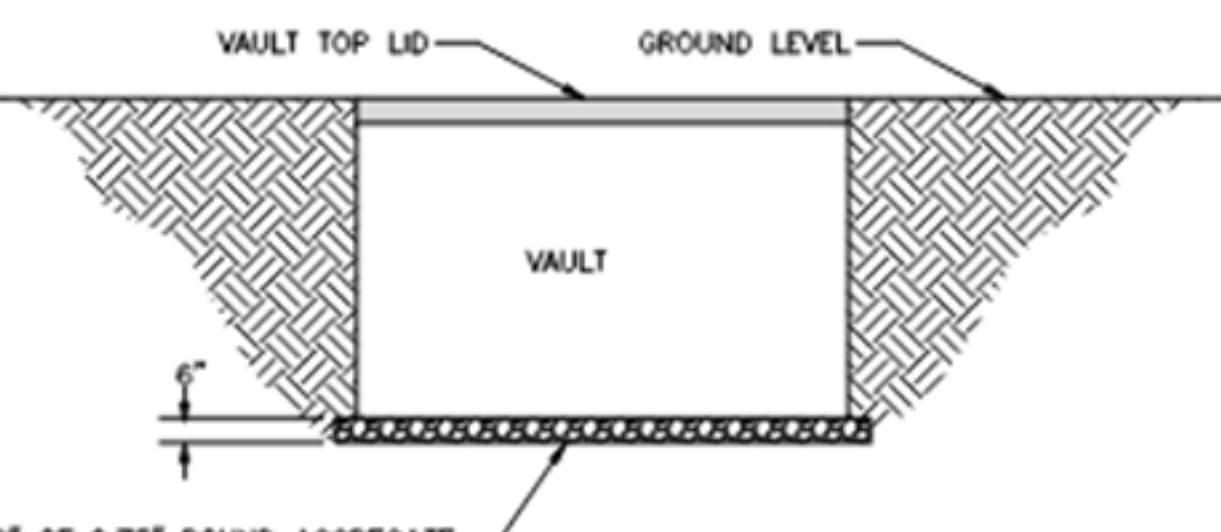
KEY PLAN



SEGMENT 16 PARTIAL PLAN

**BEGIN OF
FLOODPLAIN
MAP 24021C0420D**

A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. Project sage involves no permanent cut or fill. All trenches and pits will be backfilled with native material or imported aggregate; any surplus material will be hauled off to an approved upland disposal location. Any temporary staging areas within the floodplain will be removed. Slope contours intersected by trenching will be restored to match preconstruction conditions and the surrounding terrain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.



NOTES

1. VAULTS SHALL BE PLACED A MINIMUM OF 10" SEPARATION UNLESS APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. VAULTS SHALL BE INSTALLED TO EXISTING GRADE AND AS LEVEL AS POSSIBLE.
3. THE VAULTS WILL BE INSTALLED PARALLEL AND SQUARED UP WITH STREETS AND SIDEWALKS.
4. THE BOTTOM OF THE PIT SHALL BE COMPAKTED TO 95% TO ALLOW FOR A SOLID BASE PRIOR TO THE VAULT SET.
5. THE BACKFILL AROUND THE VAULT WILL BE NATIVE SOIL AND COMPAKTED TO 95% AFTER EVERY 6".
6. THE BOTTOM OF THE PIT SHALL HAVE AT LEAST 6" OF 0.75" ROUND AGGREGATE TO ALLOW FOR DRAINAGE AND A SOLID BASE PRIOR TO THE SETTING OF THE VAULT.

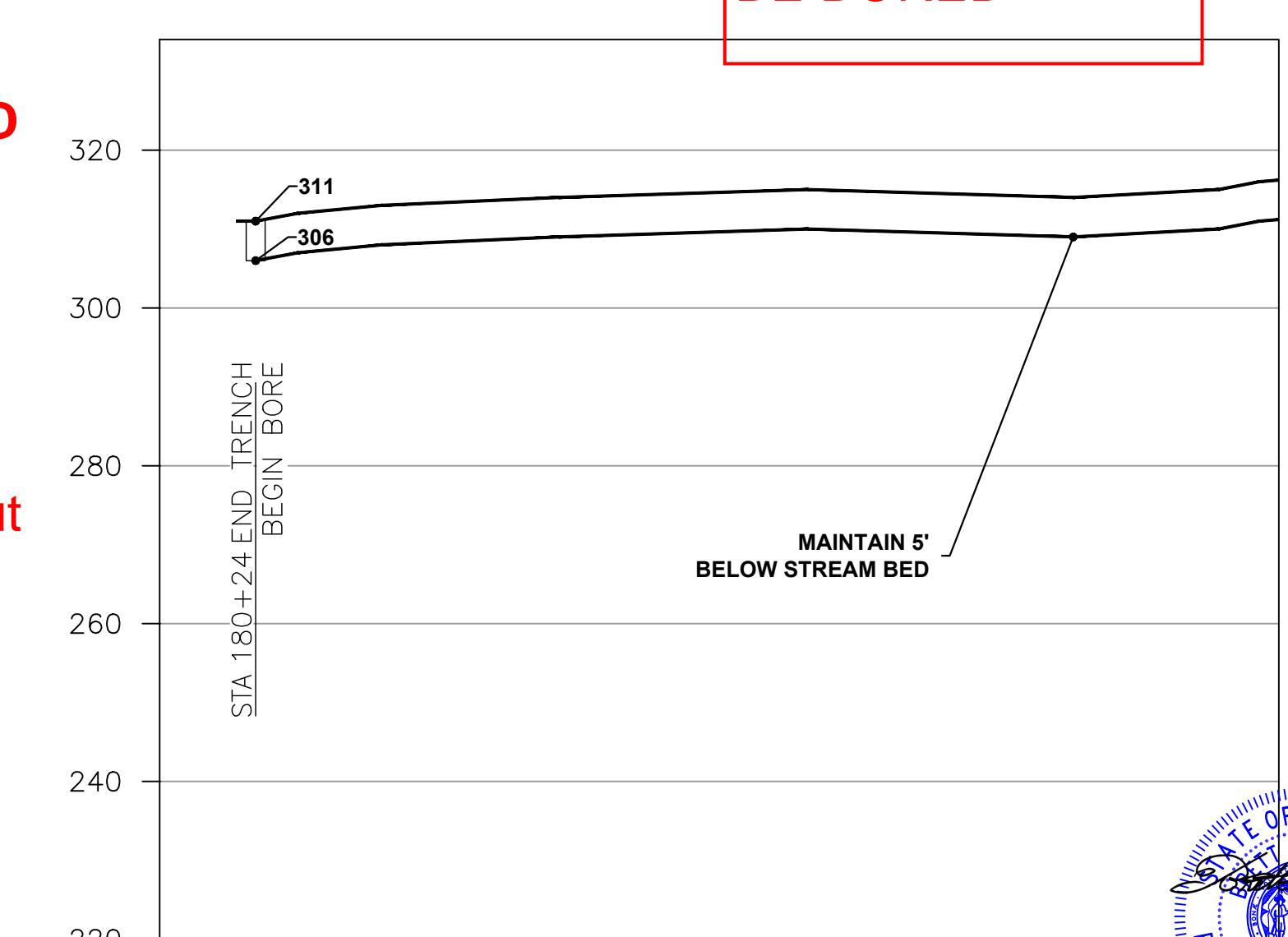
VAULT INSTALLATION

CONSTRUCTION UNITS					
UNIT	DESCRIPTION	TOTAL	UNIT		
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INS	
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	ST	
4.4	OPEN TRENCH(24"W X 60"D WITH MIN. 48" COVER)	- FT	5.0	INS	
4.5	OPEN TRENCH(24"W X 62"D WITH MIN. 48" COVER)	882 FT	5.1	INS	
4.6	SELECT BACKFILL	225 SQFT	5.2	INS	
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INS	
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	324 FT	5.10	JAC	
4.9	INSTALL HH 24"X36"X30"	- EA	-	-	
4.10	INSTALL ADD 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	

DESCRIPTION			FIRST ENERGY CONSTRUCTION COORRIDOR
TALL ADD. (4) 2" CONDUIT IN TRENCH		1206 FT	EASEMENT LINE. MAY BE SHOWN AS EXISTING PROPERTY LINE OR EXISTING UTILITY EASEMENT LINE FOR CLARITY.
B UP (2)2" C, LOC. WIRE & MULE TAPE 3' AGL		- EA	
TALL VAULT 72"X48"X48" TIER 8		- EA	
TALL VAULT 72"X48"X48" TIER 15		- EA	
TALL 6' LOCATE MARKER POST		- EA	
TALL RUNNING LINE MARKER		1 EA	
K & BORE RXR 24" STEEL CASING & 30 C		- FT	
		- -	
		- -	

EST. POTHOLE LOCATES		TOTAL E
DESCRIPTION		
—	—	—
—	—	—
—	—	—

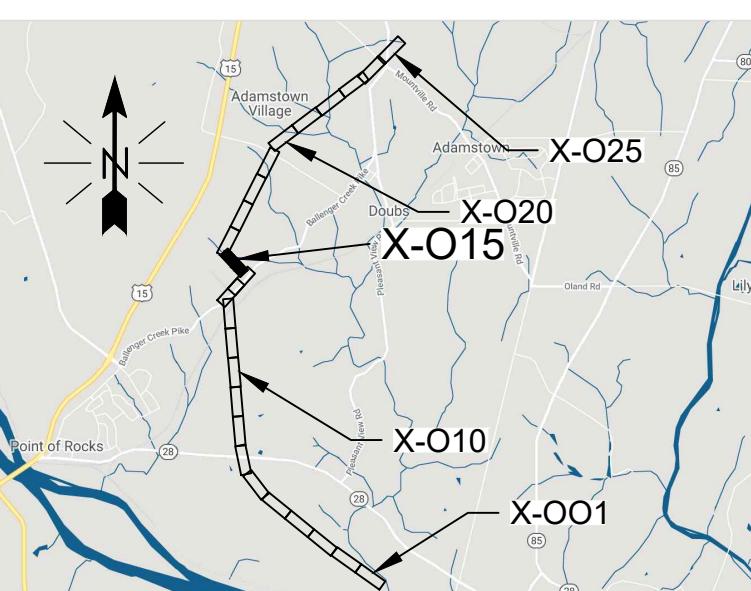
IMPACT AREAS		TOTAL SG
DESCRIPTION		
FLOOD PLAIN	—	16217
PALUSTRINE EMERGENT WETLANDS (PEM)	—	—
PERENNIAL STREAMS (R3)	—	—
FORESTED WETLANDS (PFO)	—	—
TEMPORARY WETLAND BUFFER IMPACTS	—	—



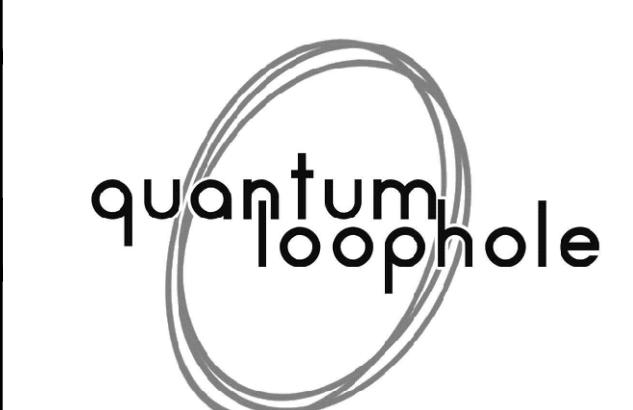
SEGMENT 16 PARTIAL PROFILE

A circular blue and white professional engineer license seal for the State of Maryland. The outer ring contains the text 'STATE OF MARYLAND' at the top and 'PROFESSIONAL ENGINEER' at the bottom. The center of the seal features a smaller circular emblem with a bridge and the number '1'. The middle ring contains the text 'BRIAN MAGAR' at the top and '50630' at the bottom. A handwritten signature 'Brian Magar' is overlaid on the seal. Below the seal, the date '11/17/2022' is printed in large, bold, black numbers.

KEY PLAN



KEY PLAN



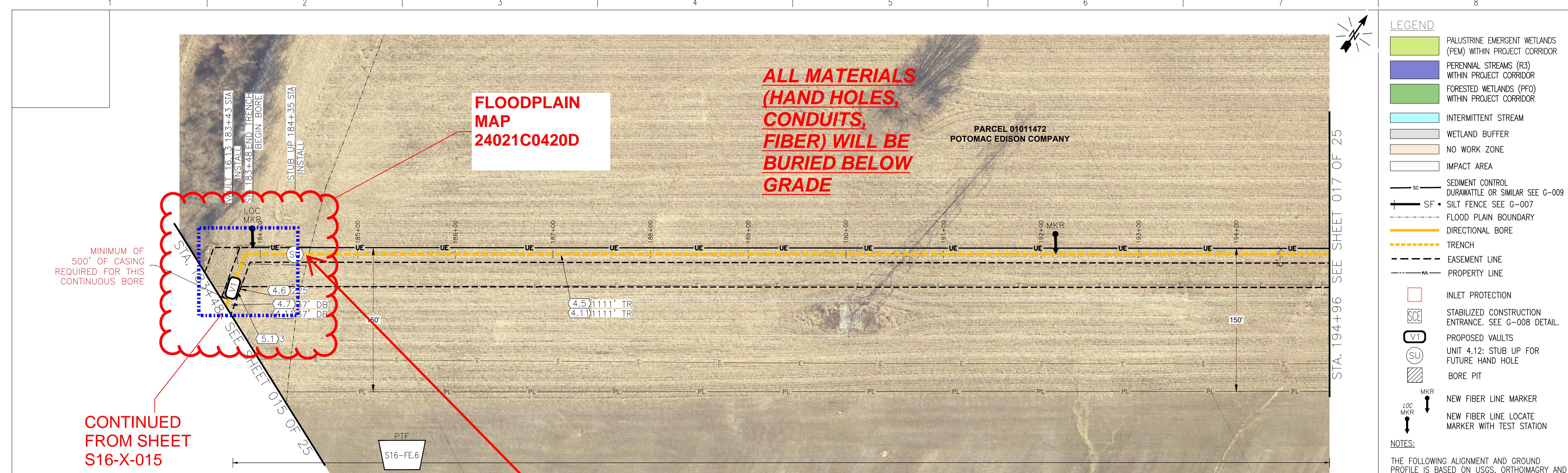
 TELCON SERVICES, LLC



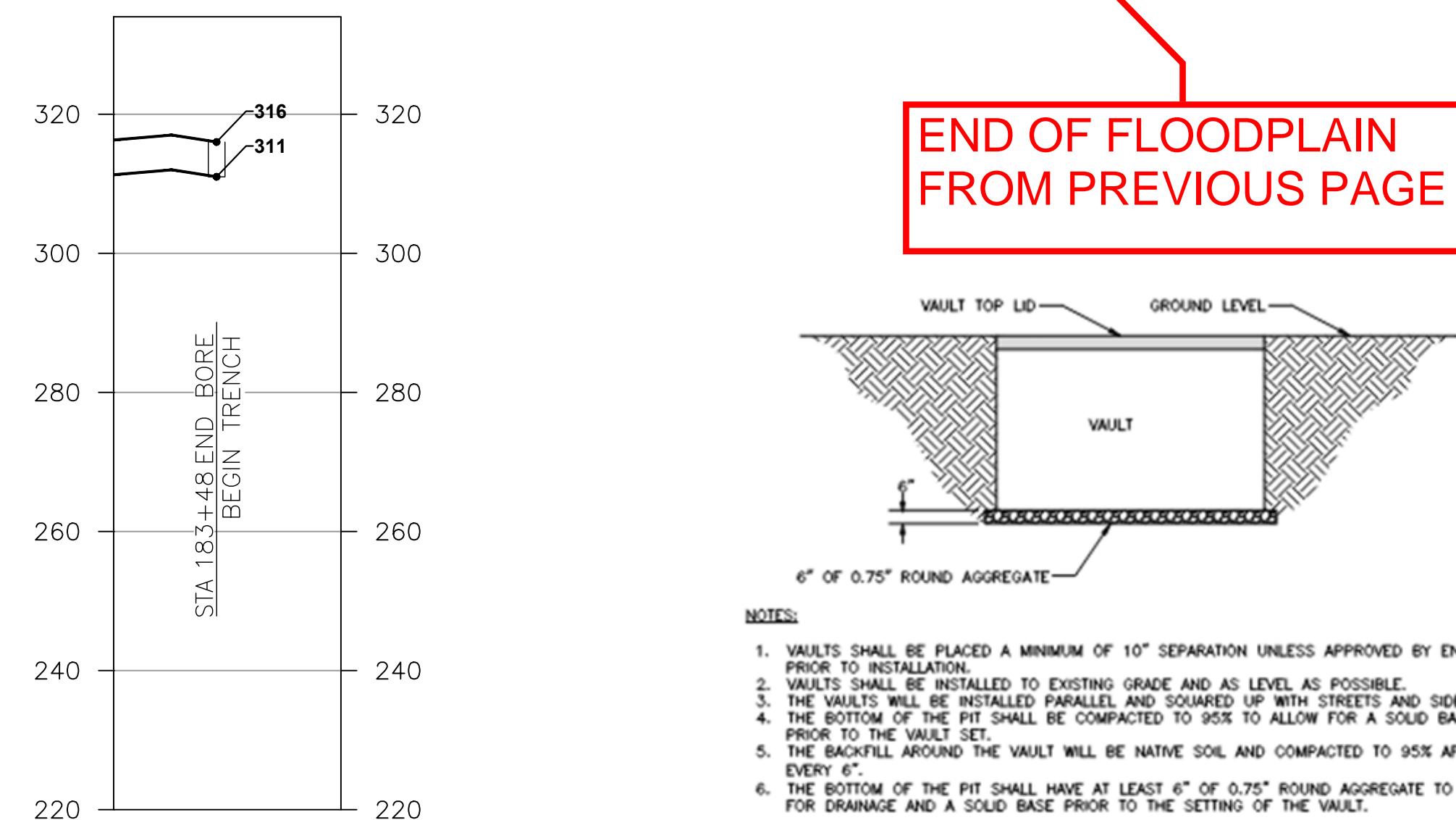
QUANTUM LOOPHOLE

ACCEPTED BY: _____ DATE _____

QUANTUM LOOPHOLE				JOB NUMBER		REV	
TELECOMMUNICATIONS FIBER				PROJECT SAGE			
NETWORK BUILD				DRAWING NUMBER			
SEGMENT 16 PLAN AND PROFILE P#0102-0012-0066-0000-0000 1306'				S16-X-015			
3	ISSUED FOR ESC PERMIT		05/11/22	RPE	RB	RI	
2	PERMIT CORRECTIONS		1/21/22	RPE	RB	RI	
1	REVISED PER FIELD INVESTIGATION		12/09/21	RPE	RB	RI	
0	ISSUED FOR PERMIT		11/28/21	RPE	RB	RI	
EV	REVISIONS		DATE	DRN	CKD	DSGN	APPD
SGN	RI	9/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM THE CLIENT IS GRANTED.				
DRN	RPE	11/21					
CKD	RB	11/21					
SCALE:	1" = 50'		FOR 22x34 CONSTRUCTION DWG ONLY				



SEGMENT 16 PARTIAL PLAN



SEGMENT 16 PARTIAL PROFILE

CONSTRUCTION UNITS				FIRST ENERGY CONSTRUCTION CORRIDOR			EST. POTHOLE LOCATES		QUANTUM LOOPHOLE		
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	EASEMENT LINE, MAY BE SHOWN AS EXISTING PROPERTY LINE OR EXISTING UTILITY EASEMENT LINE FOR CLARITY.	DESCRIPTION	TOTAL EA	JOB NUMBER	REV	
4.2	CLEARING & RESTORATION - (TREE)	-	FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	1148 FT	15'	-			
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	-	FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	1 EA	PERMANENT EASEMENT	-			
4.4	OPEN TRENCH(24" W X 60'D WITH MIN. 48" COVER)	-	FT	5.0	INSTALL VAULT 72"x48"x48" TIER 8	- EA	TEMPORARY EASEMENT	-			
4.5	OPEN TRENCH(24" W X 62'D WITH MIN. 48" COVER)	1111	FT	5.1	INSTALL VAULT 72"x48"x48" TIER 15	3 EA	RUNNING LINE	-			
4.6	SELECT BACKFILL	225	SQFT	5.2	INSTALL 6' LOCATE MARKER POST	1 EA					
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	37	FT	5.3	INSTALL RUNNING LINE MARKER	1 EA					
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	-	FT	5.10	JACK & BORE RXR 24" STEEL CASING & 30 C	- FT					
4.9	INSTALL HH 24"x36"x30"	-	EA	-	-	-					
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	-	FT	-	-	-					

FREDERICK SOIL CONSERVATION DISTRICT

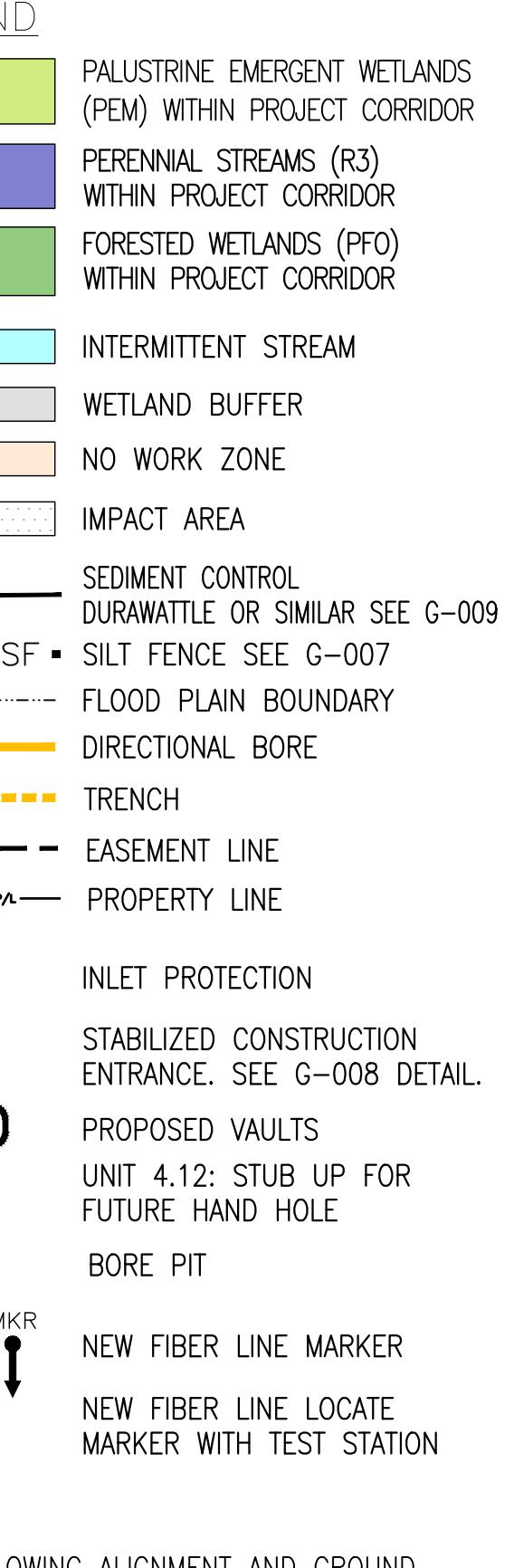
APPROVED BY: _____ DATE: _____

ACCEPTED BY: _____ DATE: _____

811 QUANTUM LOOPHOLE

TELCON SERVICES, LLC

A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. Project sage involves no permanent cut or fill. All trenches and pits will be backfilled with native material or imported aggregate; any surplus material will be hauled off to an approved upland disposal location. Any temporary staging areas within the floodplain will be removed. Slope contours intersected by trenching will be restored to match preconstruction conditions and the surrounding terrain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.



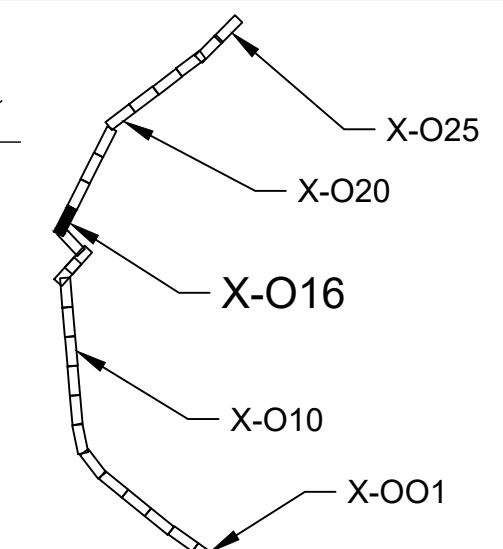
NOTES:
THE FOLLOWING ALIGNMENT AND GROUND PROFILE IS BASED ON USGS, ORTHOMAGRY AND 2019 3DEP BARE EARTH DIGITAL ELEVATION MODEL (DEM).

THE FINAL ALIGNMENT, CONTOUR ELEVATION DESIGN AND BORE PROFILE TO BE DETERMINED IN THE FIELD. ANY FIELD ADJUSTMENTS TO THE ALIGNMENT WILL BE WITHIN APPROVED EASEMENTS/RIGHT-OF-ENTRY AGREEMENTS.

KNOWN STRUCTURES ALONG THE RUNNING-LINE, WITH FOUNDATION TO BE REVIEWED IN THE FIELD TO DETERMINE AVOIDANCE.

CONSTRUCTION/WORK IS FOR REPRESENTATION ONLY AND MUST BE OUTLINED ON-SITE.

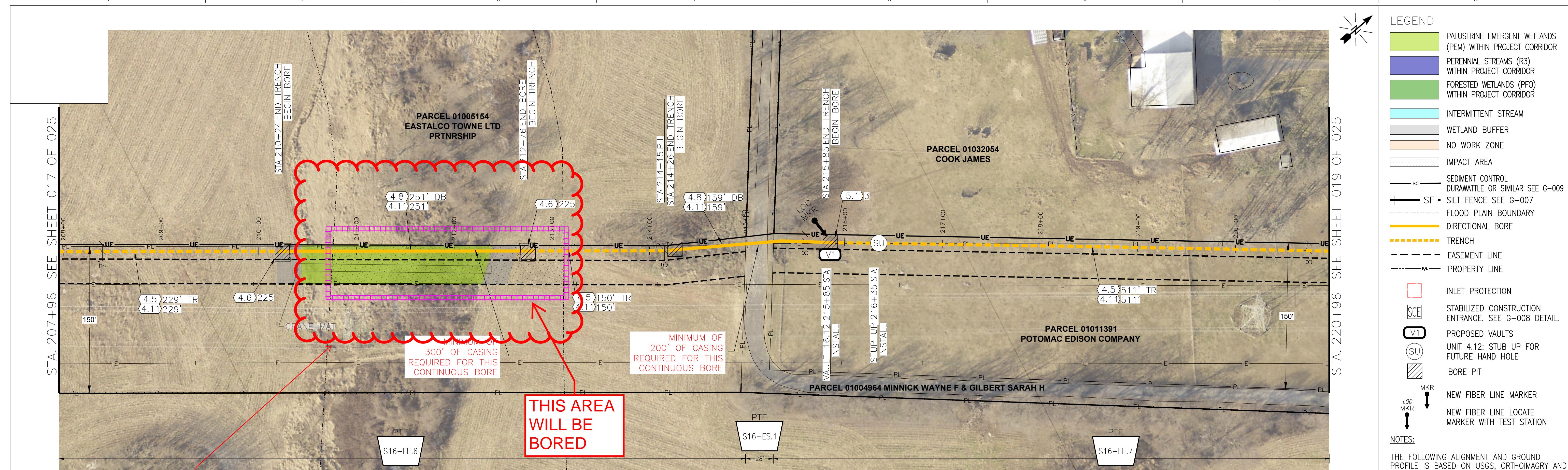
SEE EASEMENT SHEET FOR PLACEMENT DETAILS AS REQUIRED. ALL EASEMENTS WILL REQUIRE OWNER NOTIFICATION BEFORE ENTERING THE PROPERTY. THE FINAL RUNNINGLINE WILL BE FIELD STAKED PRIOR TO CONSTRUCTION.



KEY PLAN

THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM THE CLIENT IS GRANTED.

FOR 22x34 CONSTRUCTION DWG ONLY



**FLOODPLAIN
MAP
24021C0420D**

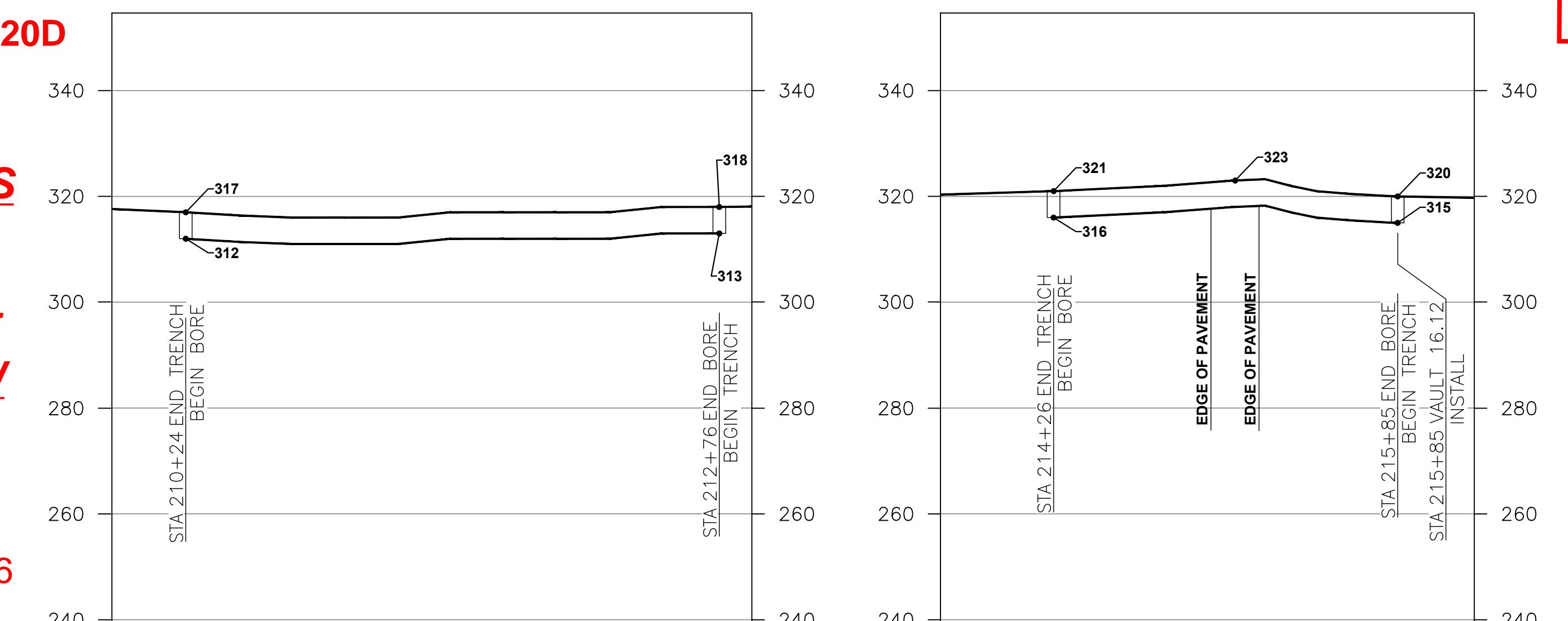
**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**

**SEE SHEET S16-X-016
FOR HAND HOLE
DETAILS**

SEGMENT 16 PARTIAL PLAN

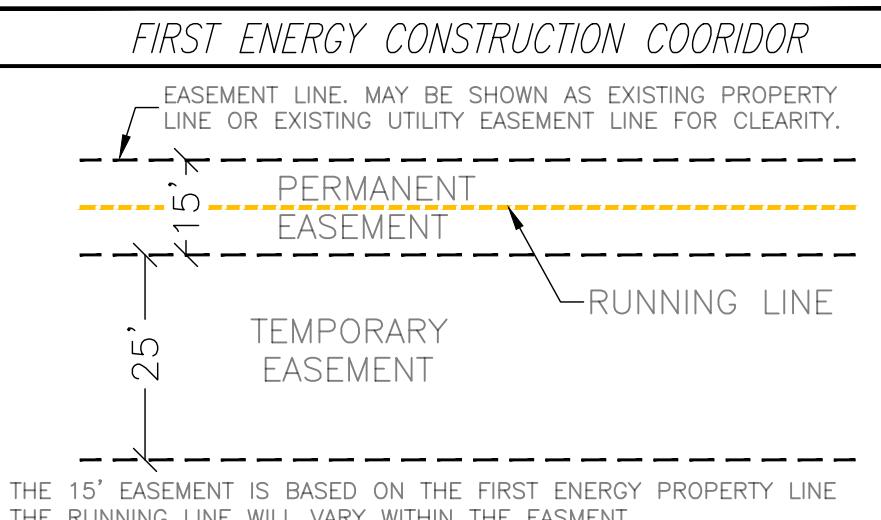
**END FLOODPLAIN
PRINTS**

A review of all project designs and specifications has determined that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain. Project sage involves no permanent cut or fill. All trenches and pits will be backfilled with native material or imported aggregate; any surplus material will be hauled off to an approved upland disposal location. Any temporary staging areas within the floodplain will be removed. Slope contours intersected by trenching will be restored to match preconstruction conditions and the surrounding terrain. This earthwork approach will result in a No-rise to floodwaters within the floodways and floodplains traversed by the project.



SEGMENT 16 PARTIAL PROFILE

CONSTRUCTION UNITS					
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	1300 FT
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	1 EA
4.4	OPEN TRENCH(24'W X 60'D WITH MIN. 48" COVER)	- FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	- EA
4.5	OPEN TRENCH(24'W X 62'D WITH MIN. 48" COVER)	890 FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	3 EA
4.6	SELECT BACKFILL	450 SQFT	5.2	INSTALL 6' LOCATE MARKER POST	1 EA
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INSTALL RUNNING LINE MARKER	- EA
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	410 FT	5.10	JACK & BORE RXR 24" STEEL CASING & 30 C	- FT
4.9	INSTALL HH 24"X36"X30"	- EA	-	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	-



EST. POHOLE LOCATES		TOTAL EA
DESCRIPTION	TOTAL EA	
DRIVeway BORE 215+00	2	
-	-	
-	-	
IMPACT AREAS		
DESCRIPTION	TOTAL SQFT	
FLOOD PLAIN	3582	
PALUSTRINE EMERGENT WETLANDS (PEM)	1507	
PERENNIAL STREAMS (R3)	-	
FORESTED WETLANDS (PFO)	-	
TEMPORARY WETLAND BUFFER IMPACTS	3284	



KEY PLAN

QUANTUM LOOPHOLE			JOB NUMBER	REV
TELECOMMUNICATIONS FIBER	PROJECT SAGE	3		
NETWORK BUILD	DRAWING NUMBER			
SEGMENT 16 PLAN AND PROFILE				
P#0102-0012-0065 & P#0102-0011-0011 & P#0103-0001-0118	S16-X-018			
3 ISSUED FOR ESC PERMIT	05/11/22	RPE	RB	RI
2 PERMIT CORRECTIONS	1/21/22	RPE	RB	RI
1 REVISED PER FIELD INVESTIGATION	12/09/21	RPE	RB	RI
0 ISSUED FOR PERMIT	11/28/21	RPE	RB	RI
REV	REVISIONS	DATE	DRN	CKD DSGN APPD
DSGN	RI	9/21		
DRN	RPE	11/21		
CKD	RB	11/21		
SCALE:	1" = 50'			
THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM THE CLIENT IS GRANTED.				
FOR 22x34 CONSTRUCTION DWG ONLY				

JUSTIFICATION STATEMENT

Telcon Services, on behalf of QLoop Communications Services, LLC; is requesting permission to place conduit, fiber, and hand holes below grade through Frederick County floodplains as part of the construction to place a 42-mile fiber ring from/to a campus in Frederick County. The project is underway and has passed the requirements of MDE and USACE through the floodplain area. The material will all be placed below ground, and we had a professional engineer sign and stamp that the project will not permanently change soil/slope contours or result in any permanent net fill within a floodway or floodplain.

The request has been made since this portion of the project(floodplain) is holding up the construction and grading permit applications that have been filed over the course of the last 8 months. In order to proceed with the construction, the permits are required and are relevant to starting and completing this project in a timely and efficient manner. Due to the fact that this permit affects all of the other permits currently with Frederick County, it is pertinent to get this approved.

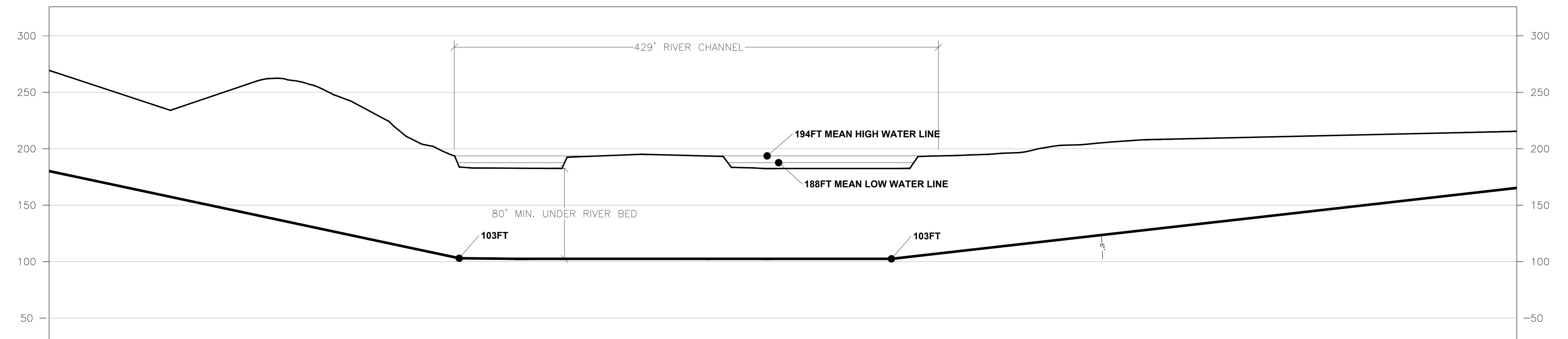
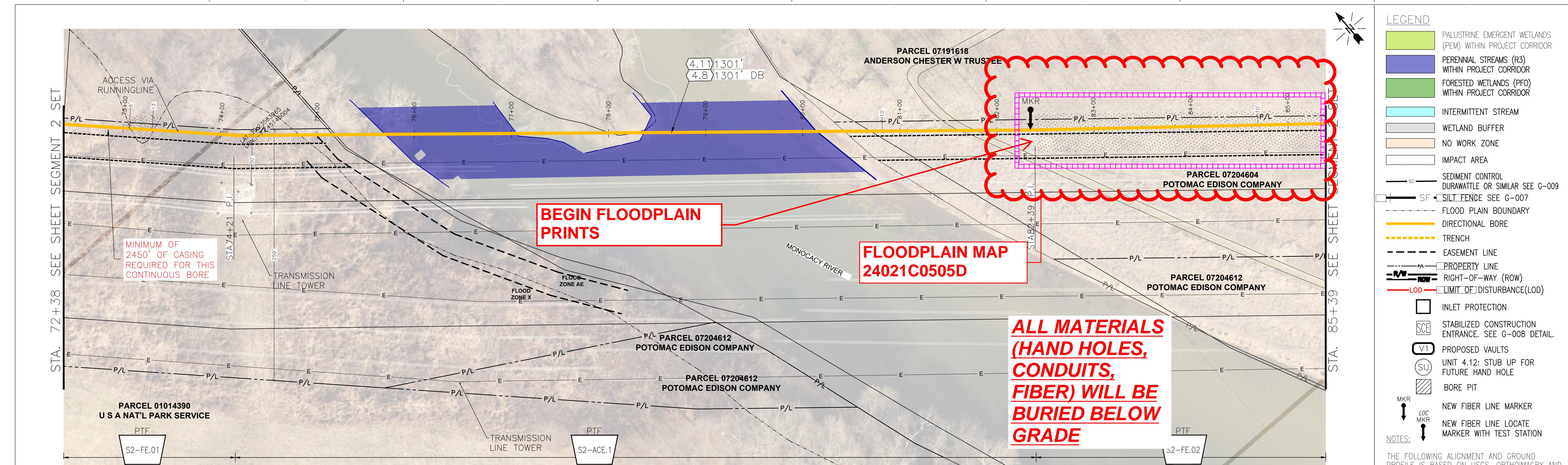
Since the MDE and USACE have already reviewed and approved this project, construction and funding were approved and have began. Frederick County requested that QLoop Communications Services also complete the Board of Appeals application due to the fact that the line goes through some of the floodplain area. Telcon Services engaged environmental team Point Environmental to review the properties prior to deeming the area safe for construction. It was Point Environmental's review and applications with MDE & USACE that were approved based on the fact that there were no impacts to the floodplains with the underground and no above grade material being placed.



Nontidal Wetlands and Waterways Application Number:
21-NT-3181/202161612

Adjoining Property Owners

1. Elysian North 5, LLC
PO BOX 588
LEESBURG VA 20178
2. US National Park Service
Permits Coordinator
142 W. Potomac St.
Williamsport, MD 21795
3. Frederick County Highway Dept.
331 Montevue Lane
Frederick, MD 21702
4. Jon B and Lori F Sewell
5323 Tuscarora Rd
Tuscarora MD, 21790-2016
5. CSX
1400 Railroad Ave
Fredericksburg, VA 22401
6. Lewis Legacy LLC
19100 Peach Tree Rd
Dickerson MD, 20842-8501
7. Potomac Edison Company
Tax Department
800 Cabin Hill Drive
Greensburg PA, 15601-1689
8. Northern Virginia Regional Park Authority
Land Manager
5400 Ox Road
Fairfax Station, VA 22039
703-352-5900

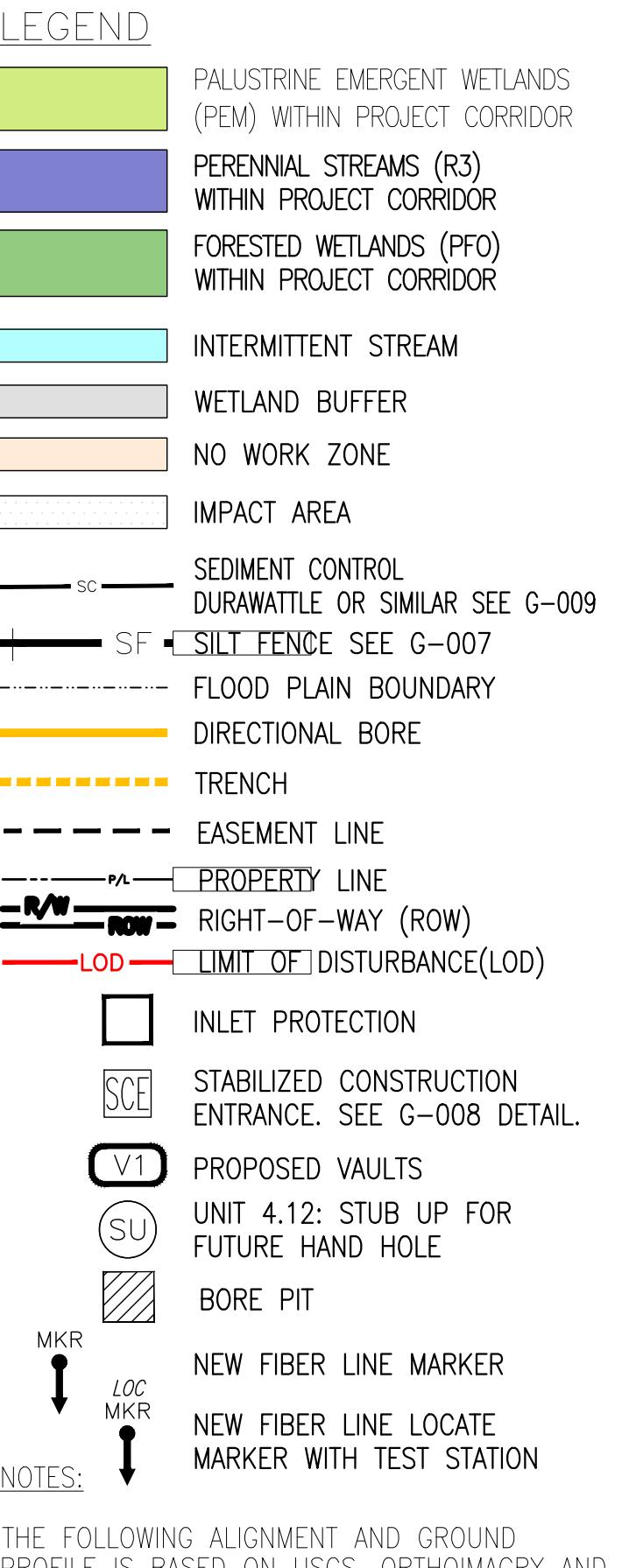


BORE PROFILE

CONSTRUCTION UNITS					
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	1301 FT
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	- EA
4.4	OPEN TRENCH(24'W X 60'D WITH MIN. 48" COVER)	- FT	5.0	INSTALL VAULT 72"x48"x48" TIER 8	- EA
4.5	OPEN TRENCH(24'W X 62'D WITH MIN. 48" COVER)	- FT	5.1	INSTALL VAULT 72"x48"x48" TIER 15	- EA
4.6	SELECT BACKFILL	- SQFT	5.2	INSTALL 6' LOCATE MARKER POST	- EA
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INSTALL RUNNING LINE MARKER	1 EA
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	1301 FT	-	-	-
4.9	INSTALL HH 24"x36"x30"	- EA	-	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	-

FIRST ENERGY CONSTRUCTION CORRIDOR		IMPACT AREAS	
DESCRIPTION	TOTAL	DESCRIPTION	TOTAL
EASEMENT LINE, MAY BE SHOWN AS EXISTING PROPERTY LINE OR EXISTING UTILITY EASEMENT LINE FOR CLARITY.	-	FLOOD PLAIN	12,525
PERMANENT EASEMENT	-	PALUSTRINE EMERGENT WETLANDS (PEM)	-
TEMPORARY EASEMENT	-	PERENNIAL STREAMS (R3)	-
TEMPORARY WETLAND BUFFER IMPACTS	-	FORESTED WETLANDS (PFO)	-
THE 15' EASEMENT IS BASED ON THE FIRST ENERGY PROPERTY LINE	-	THE 15' EASEMENT IS BASED ON THE FIRST ENERGY PROPERTY LINE	-
THE RUNNING LINE WILL VARY WITHIN THE EASEMENT	-	THE RUNNING LINE WILL VARY WITHIN THE EASEMENT	-

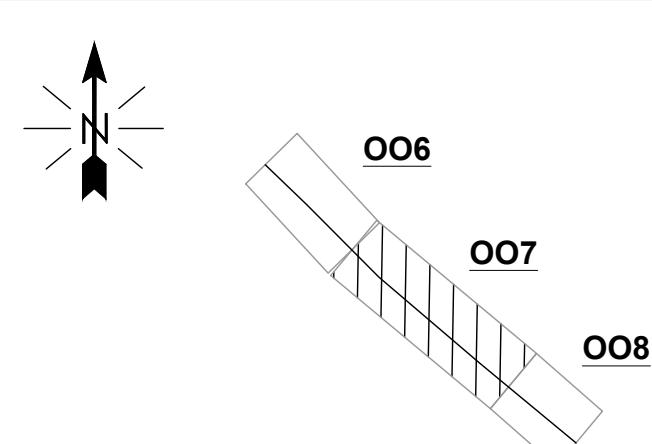
QUANTUM LOOPHOLE		JOB NUMBER	REV
TELECOMMUNICATIONS FIBER NETWORK BUILD		PROJECT SAGE 2	1
BORE PLAN AND PROFILE SEGMENT 2 MONOCACY BORE		DRAWING NUMBER	X-007
1 MODIFIED PTF		1/24/22	RPE RI
1 PERMIT CORRECTIONS		1/21/22	RPE RB RI
0 ISSUED FOR PERMIT		11/28/21	RPE RB RI
REV	REVISIONS	DATE	DRN CKD DSGN APPD
DSGN	RI	7/21	
DRN	RPE	11/21	
CKD	RB	11/21	



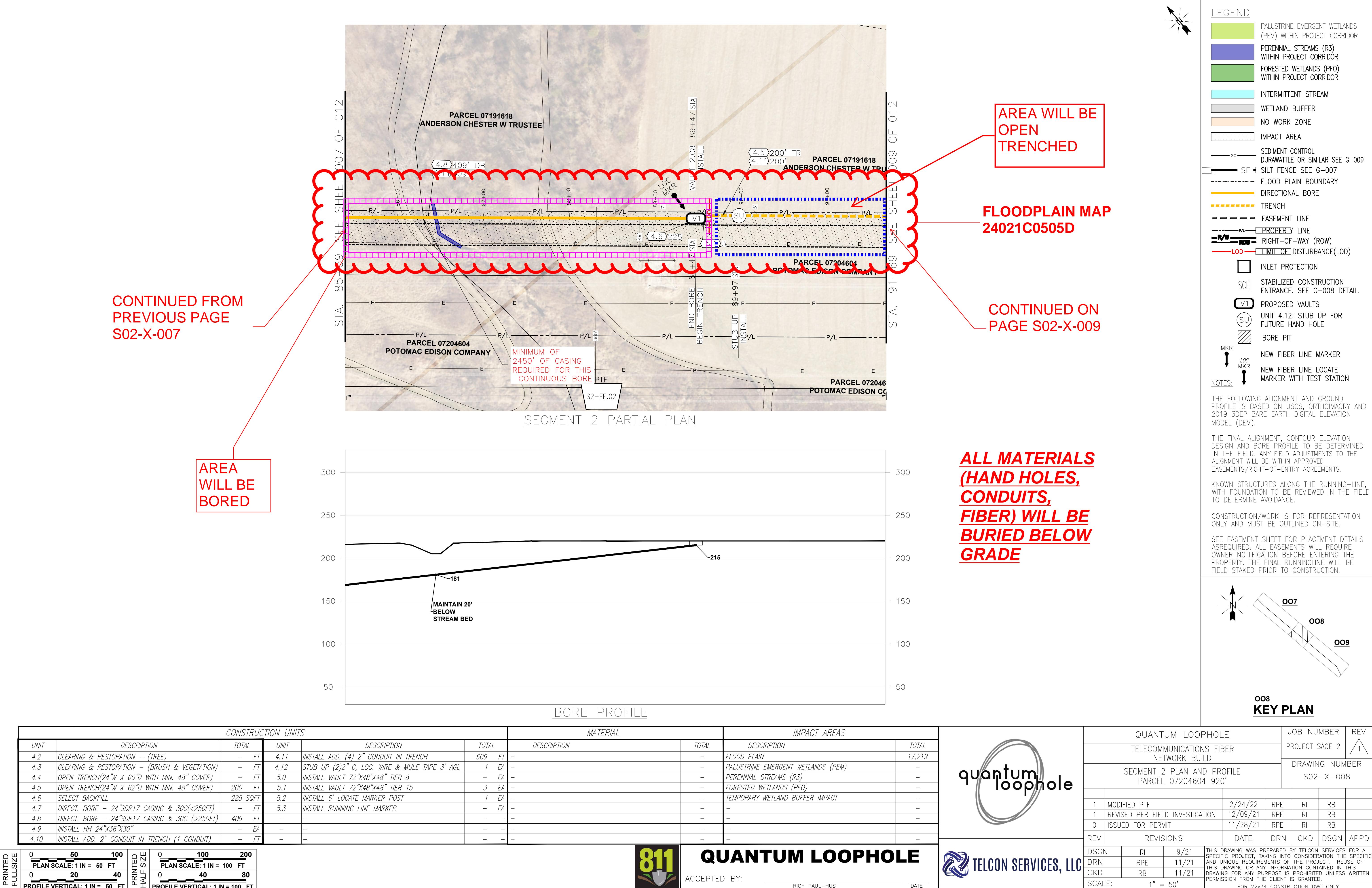
KNOWN STRUCTURES ALONG THE RUNNING-LINE, WITH FOUNDATION TO BE REVIEWED IN THE FIELD TO DETERMINE AVOIDANCE.

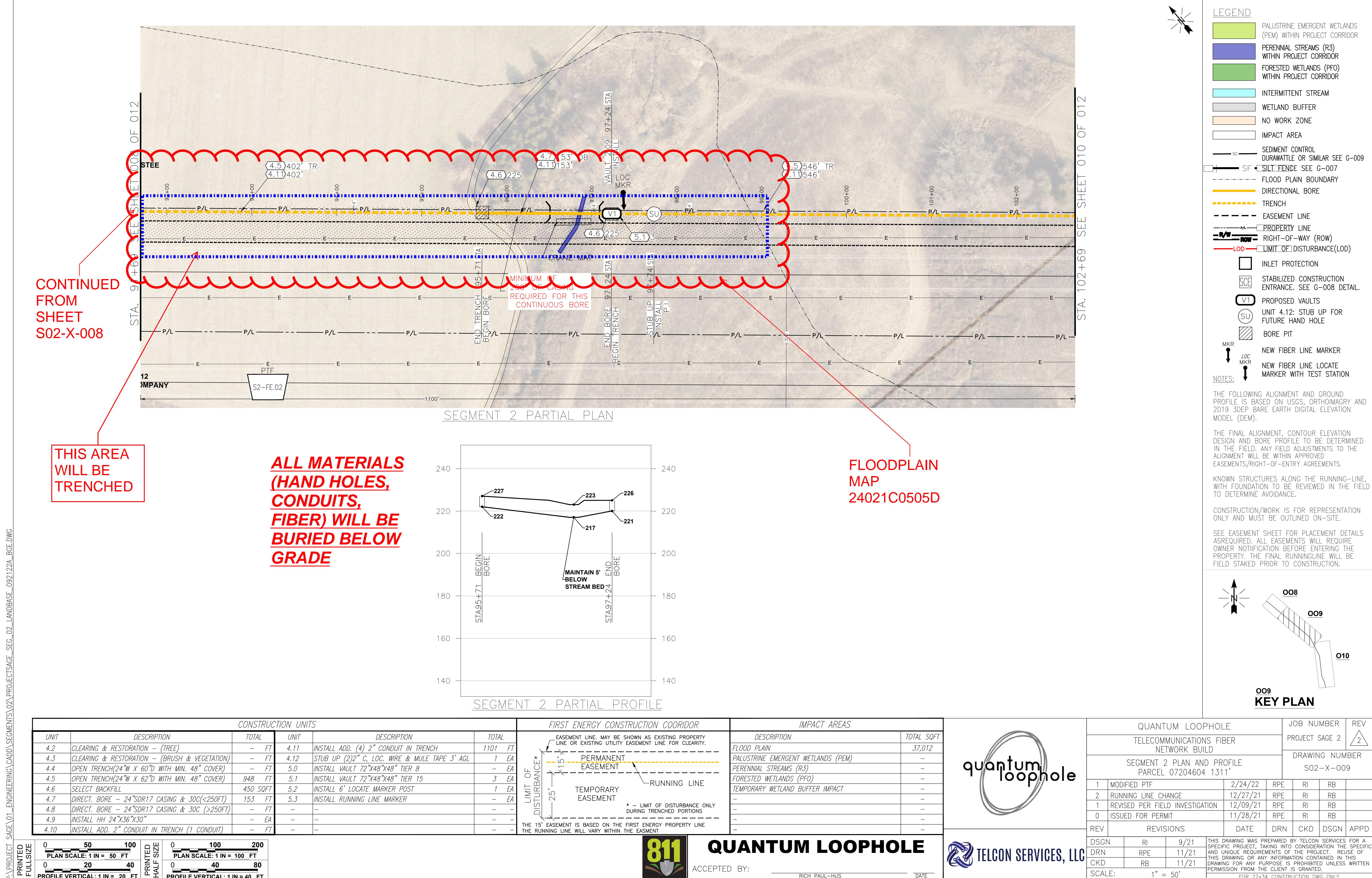
CONSTRUCTION/WORK IS FOR REPRESENTATION ONLY AND MUST BE OUTLINED ON-SITE.

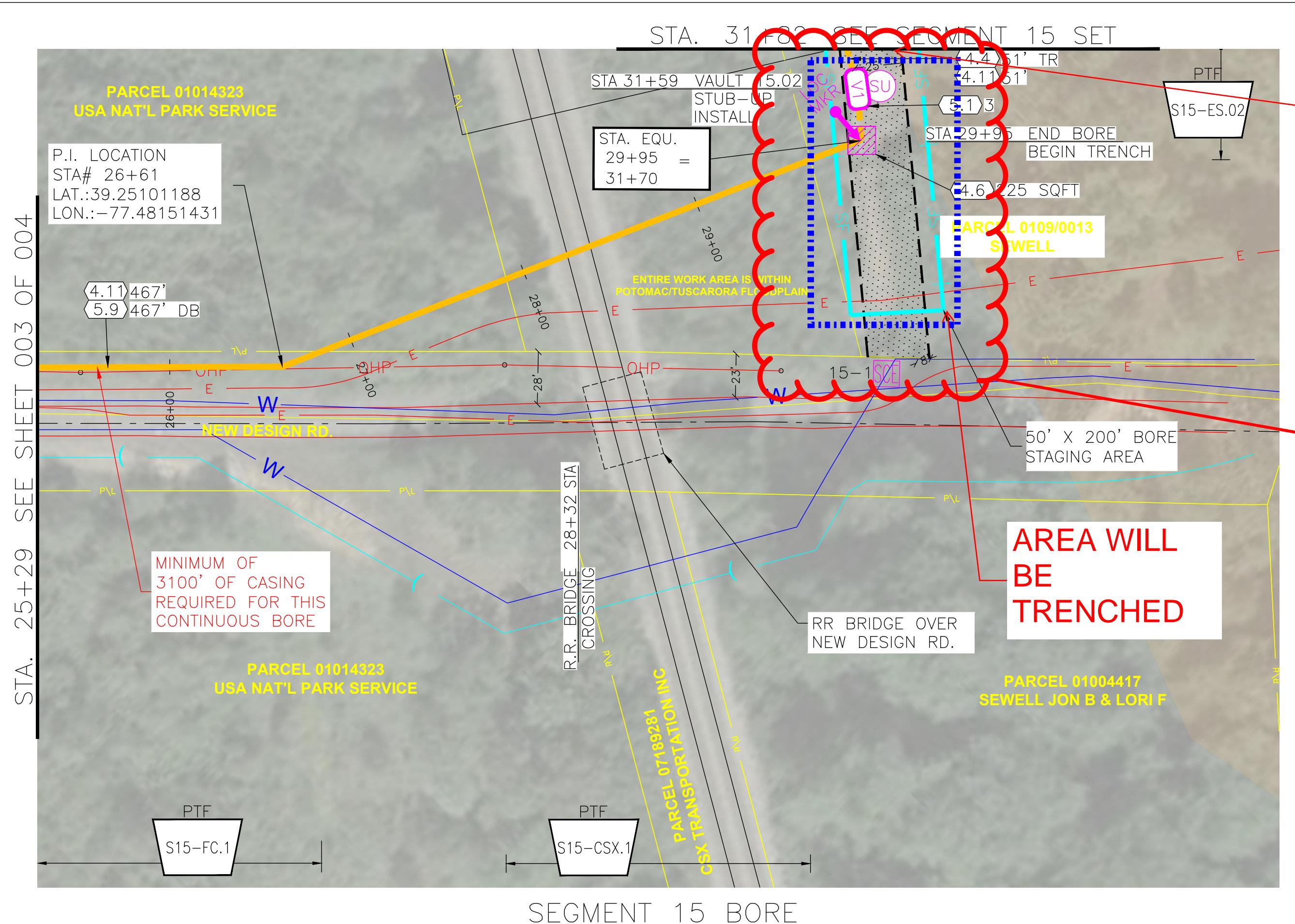
SEE EASEMENT SHEET FOR PLACEMENT DETAILS AS REQUIRED. ALL EASEMENTS WILL REQUIRE OWNER NOTIFICATION BEFORE ENTERING THE PROPERTY. THE FINAL RUNNING-LINE WILL BE FIELD STAKED PRIOR TO CONSTRUCTION.



007
KEY PLAN



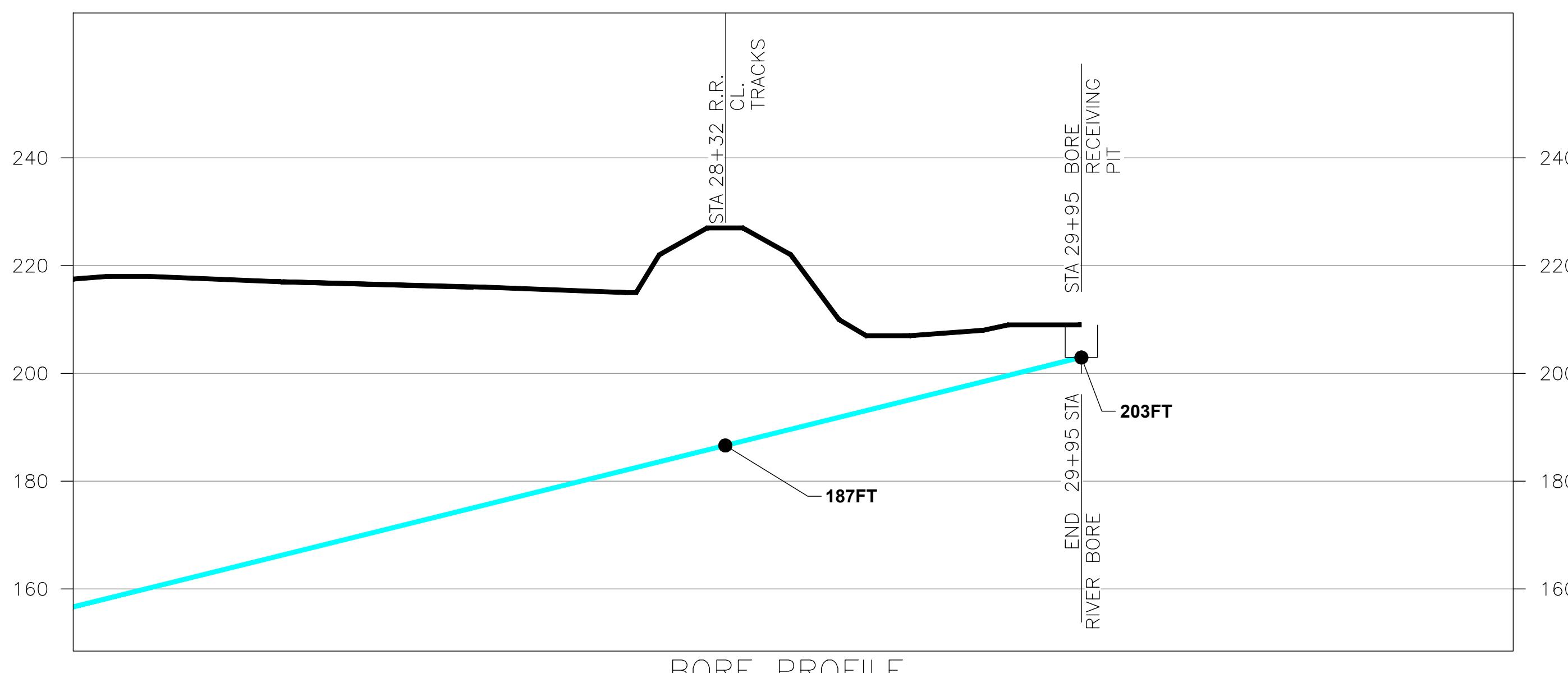




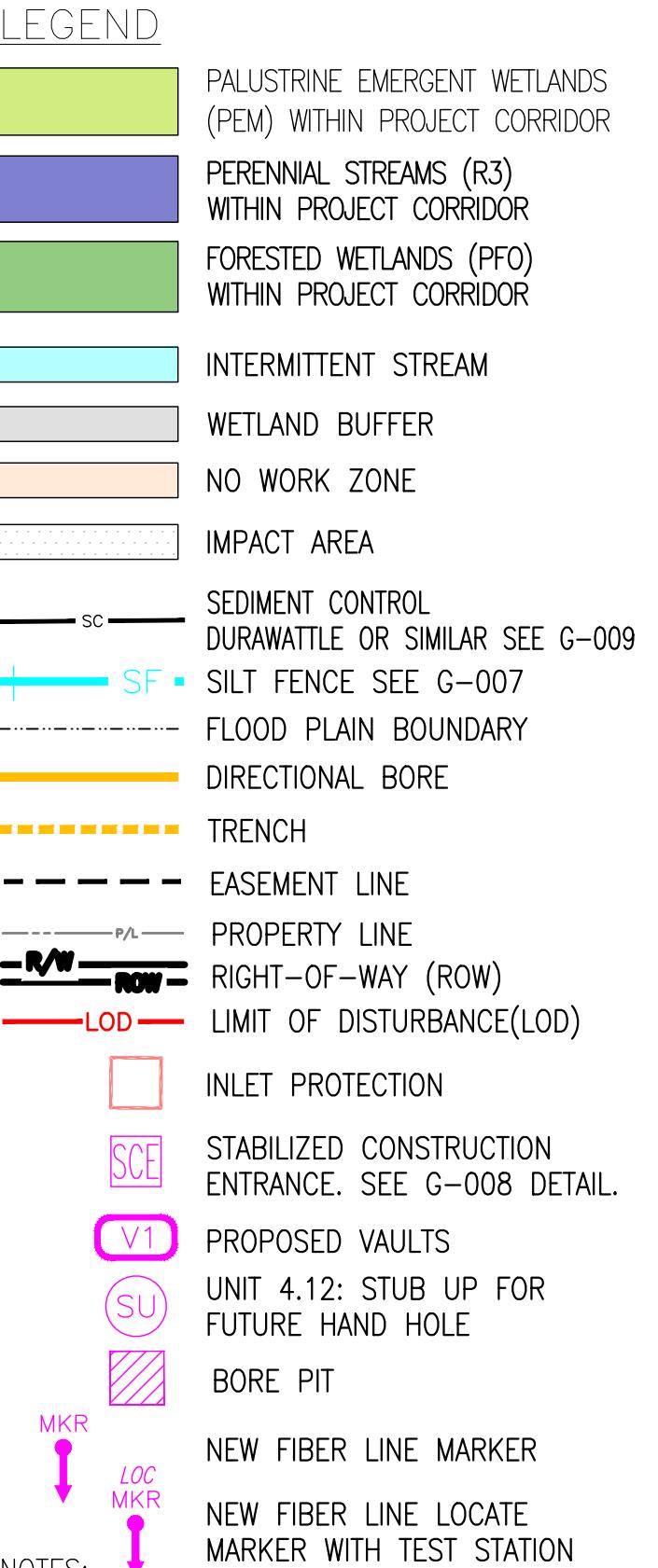
CONTINUED
ON SHEET
S15-X-005

FLOODPLAIN
MAP
24021C0440D

Note: The Frederick County Division of Water and Sewer Utilities Construction Manager shall be notified, at least, 48 Hours prior to work within the location of public raw water lines and public water utility easement @ 301-600-2266



ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE



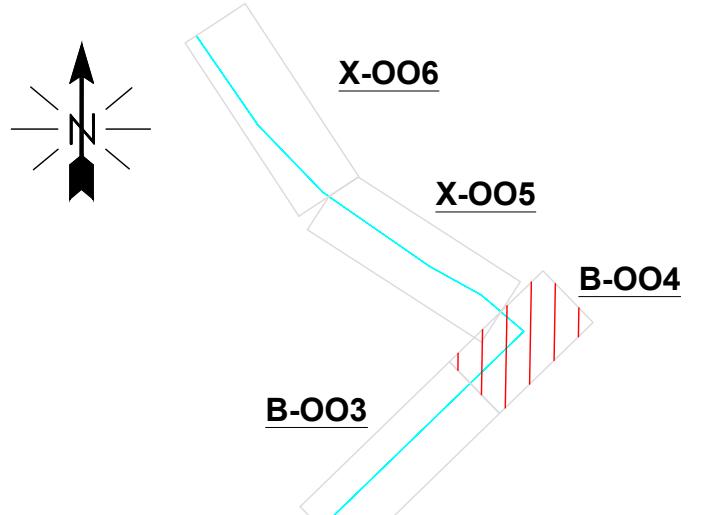
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KEY PLAN

CONSTRUCTION UNITS				MATERIAL				IMPACT AREAS	
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL	REV	
4.2	CLEARING & RESTORATION - (TREE)	-	FT	5.2	INSTALL 6' LOCATE MARKER POST	1	EA	-	5650
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	-	FT	5.5	ROCK ADDER - TRENCHING	-	FT	-	
4.4	OPEN TRENCH(24'W X 60'D WITH MIN. 48" COVER)	51	FT	5.6	ROCK ADDER - DIRECTIONAL BORE	-	FT	-	
4.6	SELECT BACKFILL	225	SQFT	5.7	ASPHALT REMOVAL & RESTORAL	-	SQFT	-	
4.9	INSTALL HH 24"X36"X30"	-	EA	5.9	ROCK RIVER BORE - 24" SDR11 CASING & 30 C	467	FT	-	
4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	518	FT	6.0	TRAFFIC CONTROL	-	EA	-	
4.12	STUB UP (2)2" C, LOC. WIRE & MULE TAPE 3' AGL	1	EA	-	-	-	-	-	
5.0	INSTALL VAULT 72"X48"X48" TIER 8	-	EA	-	-	-	-	-	
5.1	INSTALL VAULT 72"X48"X48" TIER 15	3	EA	-	-	-	-	-	

PRINTED
FULLSIZE
0 50 100
PLAN SCALE: 1 IN = 50 FT
0 100 200
PRINTED
HALF SIZE
0 20 40
PLAN SCALE: 1 IN = 100 FT
0 40 80
PROFILE VERTICAL: 1 IN = 40 FT



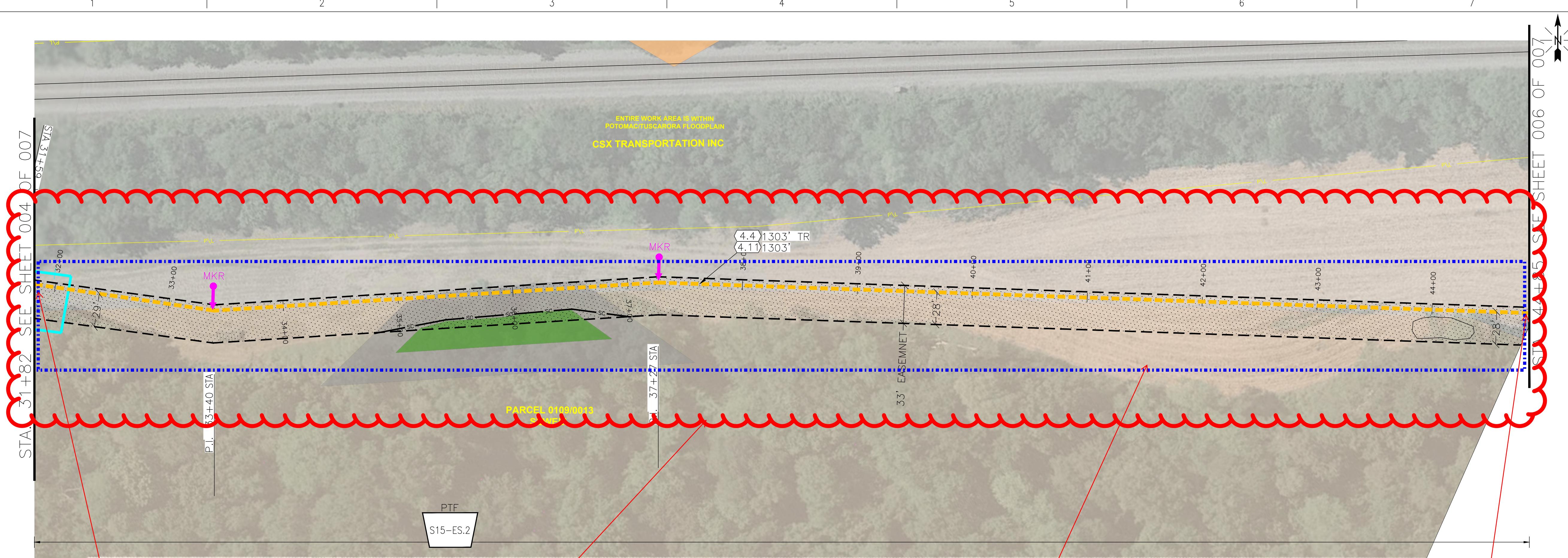
QUANTUM LOOPHOLE

ACCEPTED BY: RICH PAUL-HUS DATE



TELCON SERVICES, LLC

DSGN	RI	7/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A
DSGN	RPE	11/21	SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC
CKD	RB	11/21	AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF
REV	REVISIONS	DATE	PERMISSION FROM THE CLIENT IS GRANTED.
			FOR 22x34 CONSTRUCTION DWG ONLY
DSGN	RI	7/21	
DRN	RPE	11/21	
CKD	RB	11/21	
REV	REVISIONS	DATE	DRN CKD DSGN APPD
DSGN	RI	7/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A
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CKD	RB	11/21	
REV	REVISIONS	DATE	DRN CKD DSGN APPD
DSGN	RI	7/21	THIS DRAWING WAS PREPARED BY TELCON



CONTINUED
FROM SHEET
S15-X-004

**FLOODPLAIN
MAP
24021C0440D**

**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**

SEGMENT 15 PARTIAL PLAN

THIS AREA WILL
BE TRENCHED

CONTINUED
ON SHEET
S15-X-006

LEGEND	
PALUSTRINE EMERGENT WETLANDS (PEM) WITHIN PROJECT CORRIDOR	
PERENNIAL STREAMS (R3) WITHIN PROJECT CORRIDOR	
FORESTED WETLANDS (PFO) WITHIN PROJECT CORRIDOR	
INTERMITTENT STREAM	
WETLAND BUFFER	
NO WORK ZONE	
IMPACT AREA	
SC	SEDIMENT CONTROL DURAWATTE OR SIMILAR SEE G-009
SF	SILT FENCE SEE G-007
+	FLOOD PLAIN BOUNDARY
—	DIRECTIONAL BORE
—	TRENCH
—	EASEMENT LINE
—	PROPERTY LINE
—	RIGHT-OF-WAY (ROW)
—	LIMIT OF DISTURBANCE (LOD)
□	INLET PROTECTION
SCE	STABILIZED CONSTRUCTION ENTRANCE. SEE G-008 DETAIL.
V1	PROPOSED VAULTS
SU	UNIT 4.12: STUB UP FOR FUTURE HAND HOLE
■	BORE PIT
MKR	NEW FIBER LINE MARKER
LOC MKR	NEW FIBER LINE LOCATE MARKER WITH TEST STATION

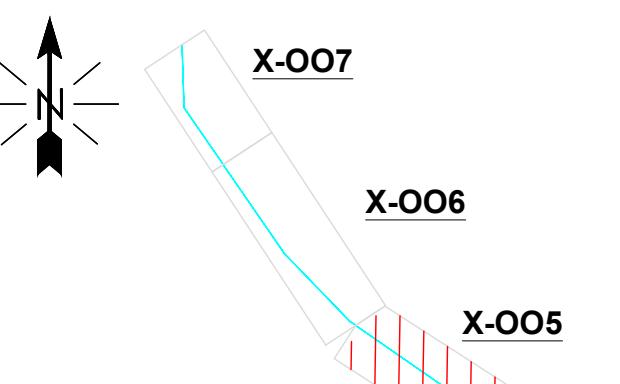
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KEY PLAN

B-004

CONSTRUCTION UNITS				MATERIAL				IMPACT AREAS	
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	
4.2	CLEARING & RESTORATION - (TREE)	-	FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	1303	FT	-	FLOOD PLAIN
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	-	FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	-	EA	-	PALUSTRINE EMERGENT WETLANDS (PEM)
4.4	OPEN TRENCH(24" W X 60'D WITH MIN. 48" COVER)	1303	FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	-	EA	-	PERENNIAL STREAMS (R3)
4.5	OPEN TRENCH(24" W X 62'D WITH MIN. 48" COVER)	-	FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	-	EA	-	FORESTED WETLANDS (PFO)
4.6	SELECT BACKFILL	-	SQFT	5.2	INSTALL 6' LOCATE MARKER POST	-	EA	-	CRANE MAT CROSSINGS
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	-	FT	5.3	INSTALL RUNNING LINE MARKER	2	EA	-	TEMPORARY IMPACT TO WETLAND BUFFER
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	-	FT	-	-	-	-	-	-
4.9	INSTALL HH 24"X36"X30"	-	EA	-	-	-	-	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	-	FT	-	-	-	-	-	-

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FULLSIZE
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PLAN SCALE: 1 IN = 100 FT
0 100 200
PROFILE VERTICAL: 1 IN = 100 FT

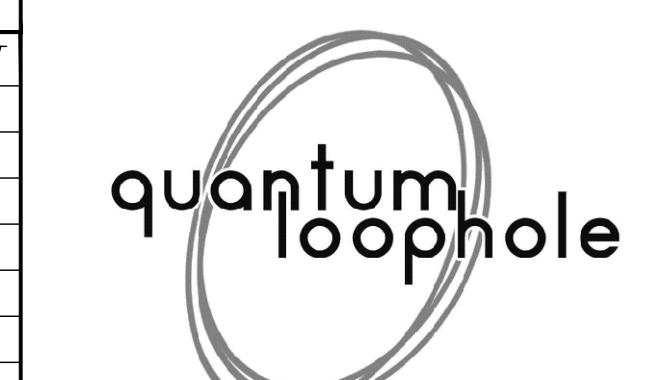
PRINTED
HALF SIZE
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PLAN SCALE: 1 IN = 200 FT
0 100 200
PROFILE VERTICAL: 1 IN = 100 FT



QUANTUM LOOPHOLE

ACCEPTED BY:

RICH PAUL-HUS



TELCON SERVICES, LLC

DATE

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DRN	RPE	11/21	
CKD	RB	11/21	
REV	REVISIONS	DATE	DRN CKD DSGN APPD
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DRN	RPE	11/21	
CKD	RB	11/21	
SCALE:	1" = 50'		FOR 22x34 CONSTRUCTION DWG ONLY



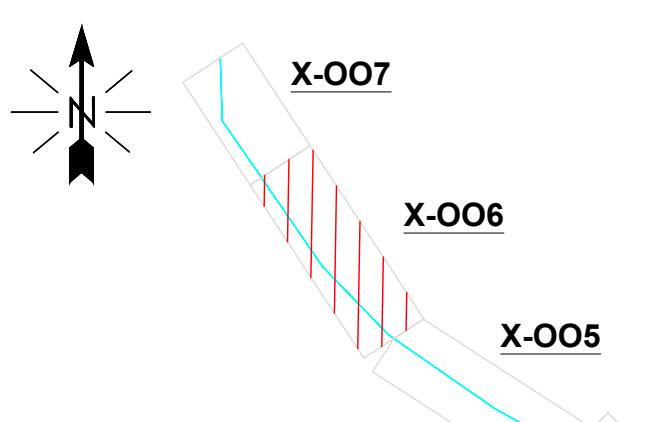
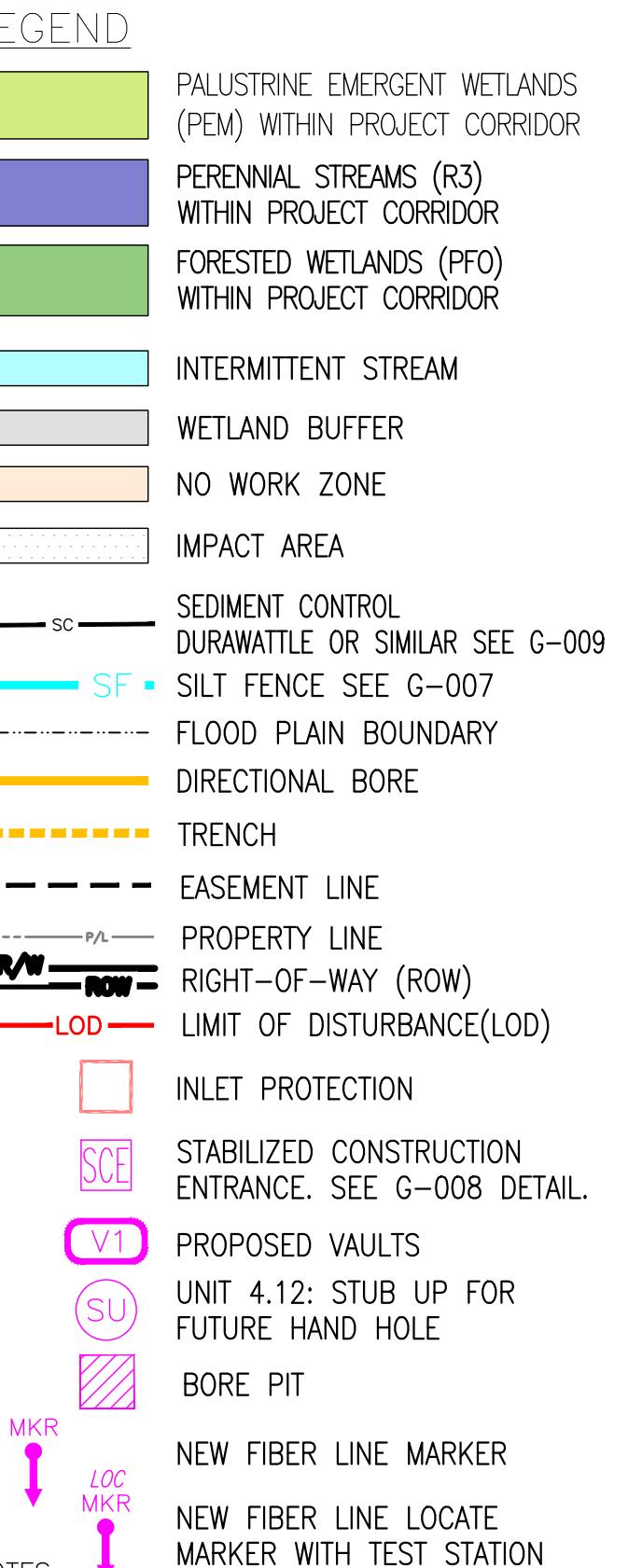
CONTINUED
FROM SHEET
S15-X-005

**FLOODPLAIN
MAP
24021C0440D**

**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**

SEGMENT 15 PARTIAL PLAN

CONTINUED
ON SHEET
S15-X-007



KEY PLAN

B-004

CONSTRUCTION UNITS				MATERIAL				IMPACT AREAS	
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	1317 FT	-	-	FLOOD PLAIN	43355
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	1 EA	-	-	PALUSTRINE EMERGENT WETLANDS (PEM)	-
4.4	OPEN TRENCH(24" W X 60'D WITH MIN. 48" COVER)	- FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	- EA	-	-	PERENNIAL STREAMS (R3)	-
4.5	OPEN TRENCH(24" W X 62'D WITH MIN. 48" COVER)	1317 FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	3 EA	-	-	FORESTED WETLANDS (PFO)	-
4.6	SELECT BACKFILL	- SQFT	5.2	INSTALL 6' LOCATE MARKER POST	1 EA	-	-	TEMPORARY IMPACT TO WETLAND BUFFER	964
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INSTALL RUNNING LINE MARKER	1 EA	-	-	-	-
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	- FT	-	-	-	-	-	-	-
4.9	INSTALL HH 24"X36"X30"	- EA	-	-	-	-	-	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	-	-	-	-	-

PRINTED
FULLSIZE
0 50 100
PLAN SCALE: 1 IN = 100 FT
0 100 200
PROFILE VERTICAL: 1 IN = 100 FT

PRINTED
HALF SIZE
0 100 200
PLAN SCALE: 1 IN = 200 FT
0 100 200
PROFILE VERTICAL: 1 IN = 100 FT

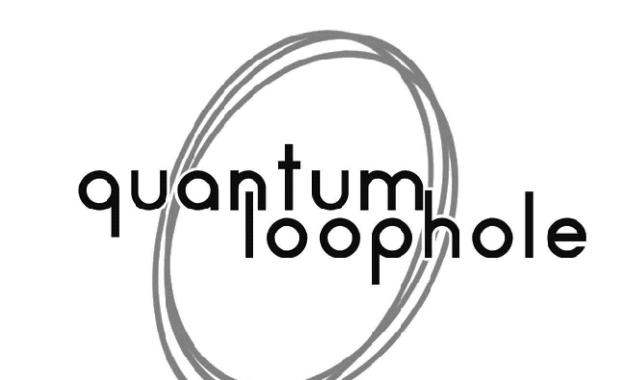


QUANTUM LOOPHOLE

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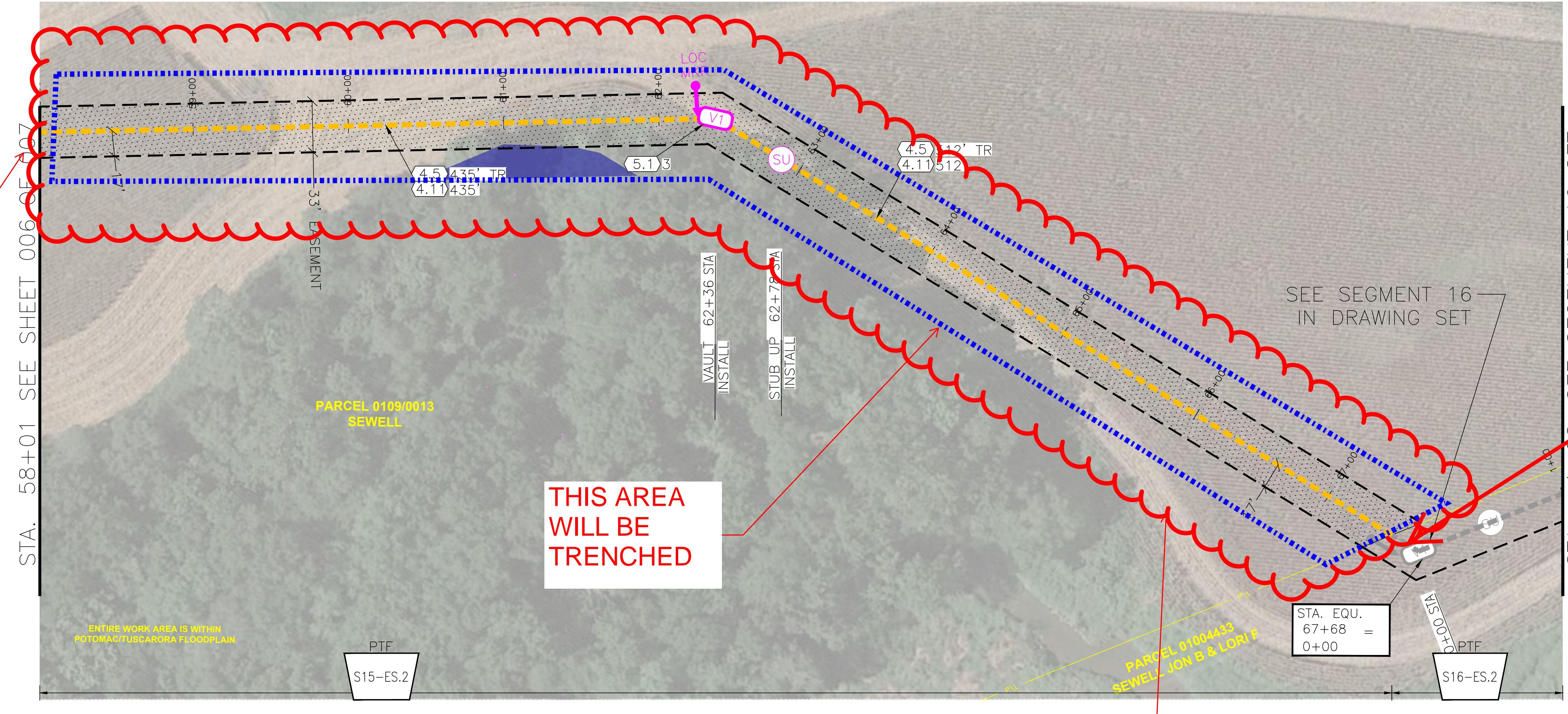
RICH PAUL-HUS

DATE



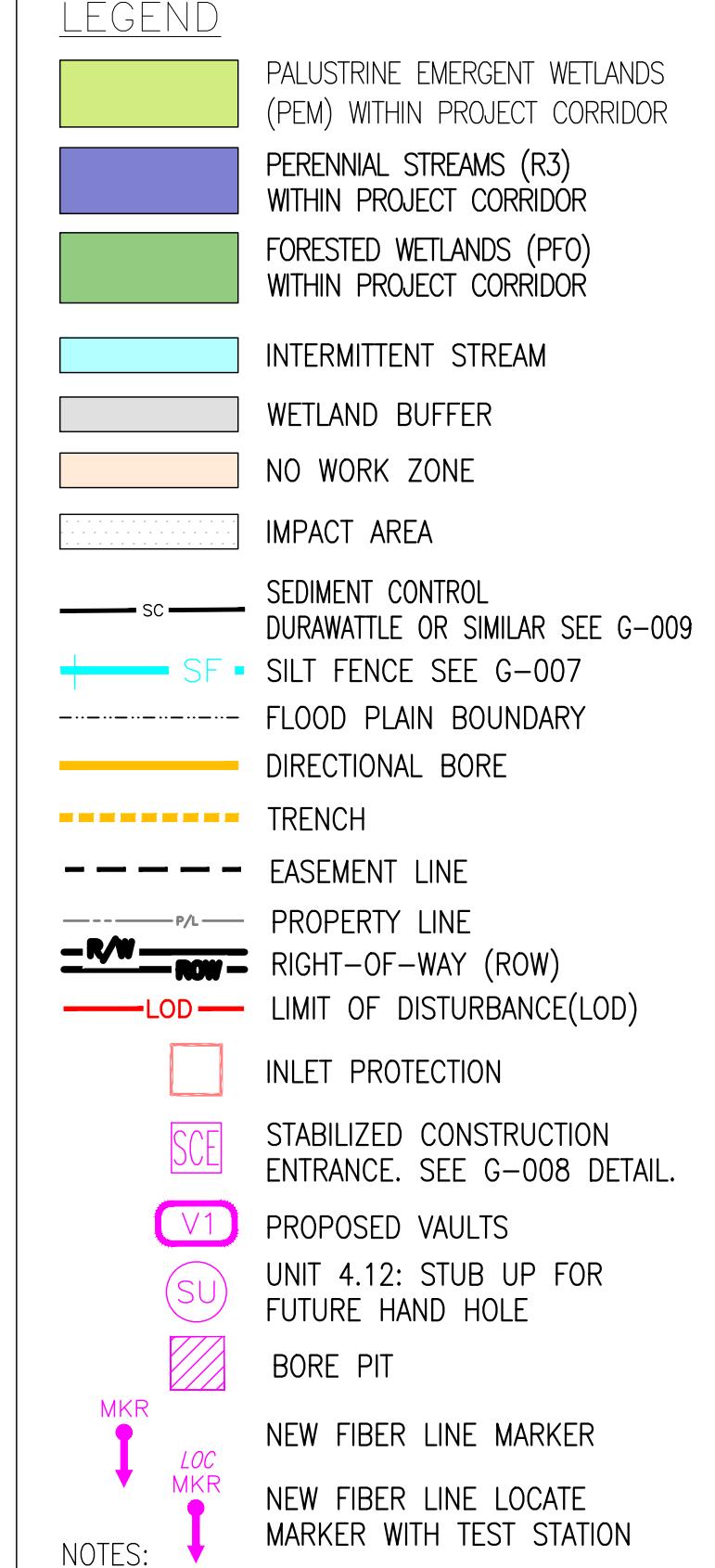
TELCON SERVICES, LLC

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DRN	RPE	11/21	SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC
CKD	RB	11/21	AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF
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			PERMISSION FROM THE CLIENT IS GRANTED.
SCALE:	1" = 50'		FOR 22x34 CONSTRUCTION DWG ONLY

CONTINUED
FROM
S15-X-006

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(HAND HOLES,
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GRADE**

**FLOODPLAIN
MAP
24021C0440D**



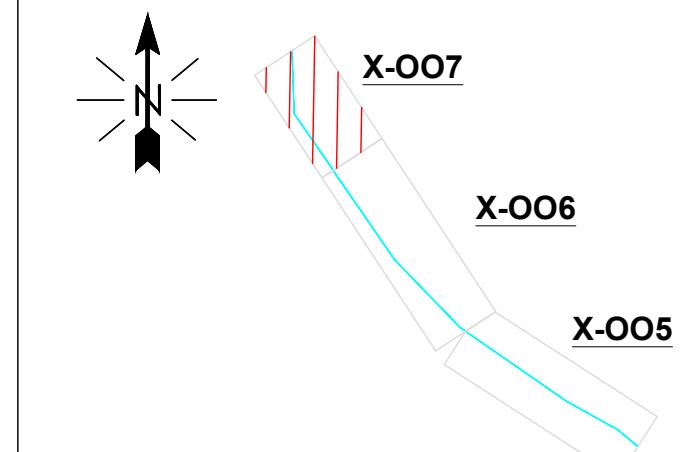
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KEY PLAN

CONSTRUCTION UNITS				MATERIAL				IMPACT AREAS	
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL	DESCRIPTION	TOTAL	REV	
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	947 FT	-	31241		
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	STUB UP (2)2" C. LOC. WIRE & MULE TAPE 3' AGL	1 EA	-	-		
4.4	OPEN TRENCH(24" W X 60'D WITH MIN. 48" COVER)	- FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	- EA	-	-		
4.5	OPEN TRENCH(24" W X 62'D WITH MIN. 48" COVER)	947 FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	3 EA	-	-		
4.6	SELECT BACKFILL	- SQFT	5.2	INSTALL 6' LOCATE MARKER POST	1 EA	-	-		
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INSTALL RUNNING LINE MARKER	- EA	-	-		
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	- FT	-	-	-	-	-		
4.9	INSTALL HH 24"X36"X30"	- EA	-	-	-	-	-		
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	-	-	-		

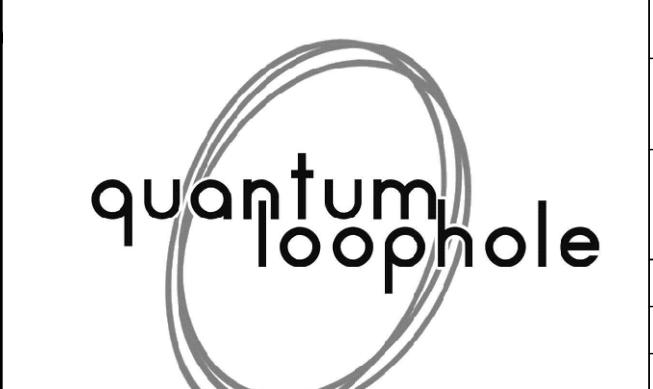
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PLAN SCALE: 1 IN = 100 FT
PRINTED
HALF SIZE
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PROFILE VERTICAL: 1 IN = 100 FT
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PROFILE VERTICAL: 1 IN = 100 FT



QUANTUM LOOPHOLE

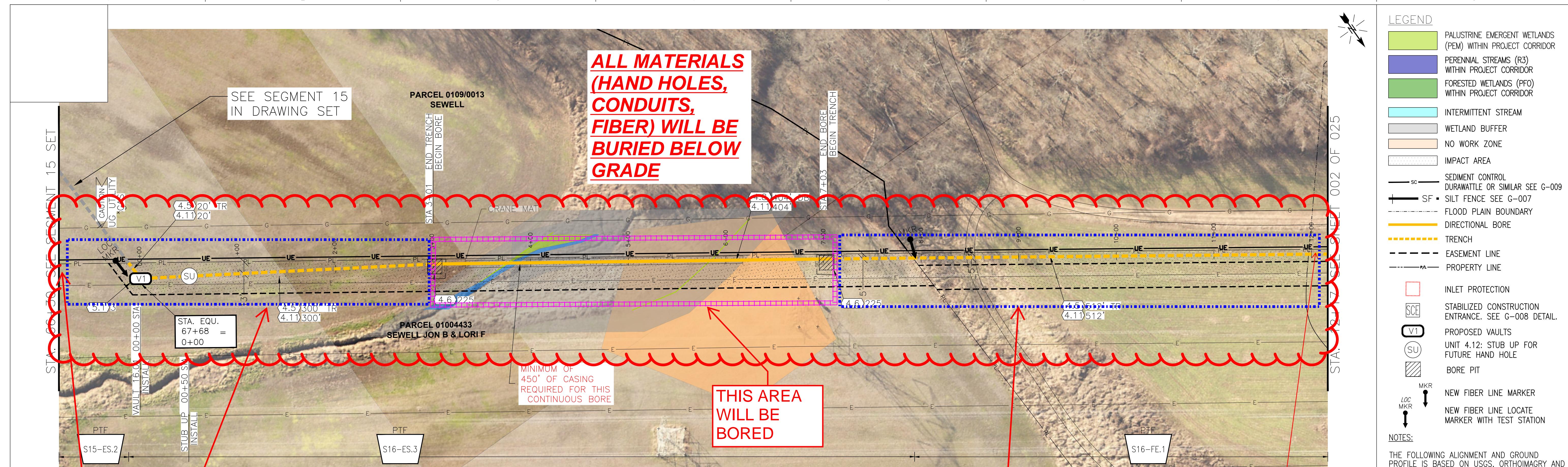
ACCEPTED BY:

RICH PAUL-HUS

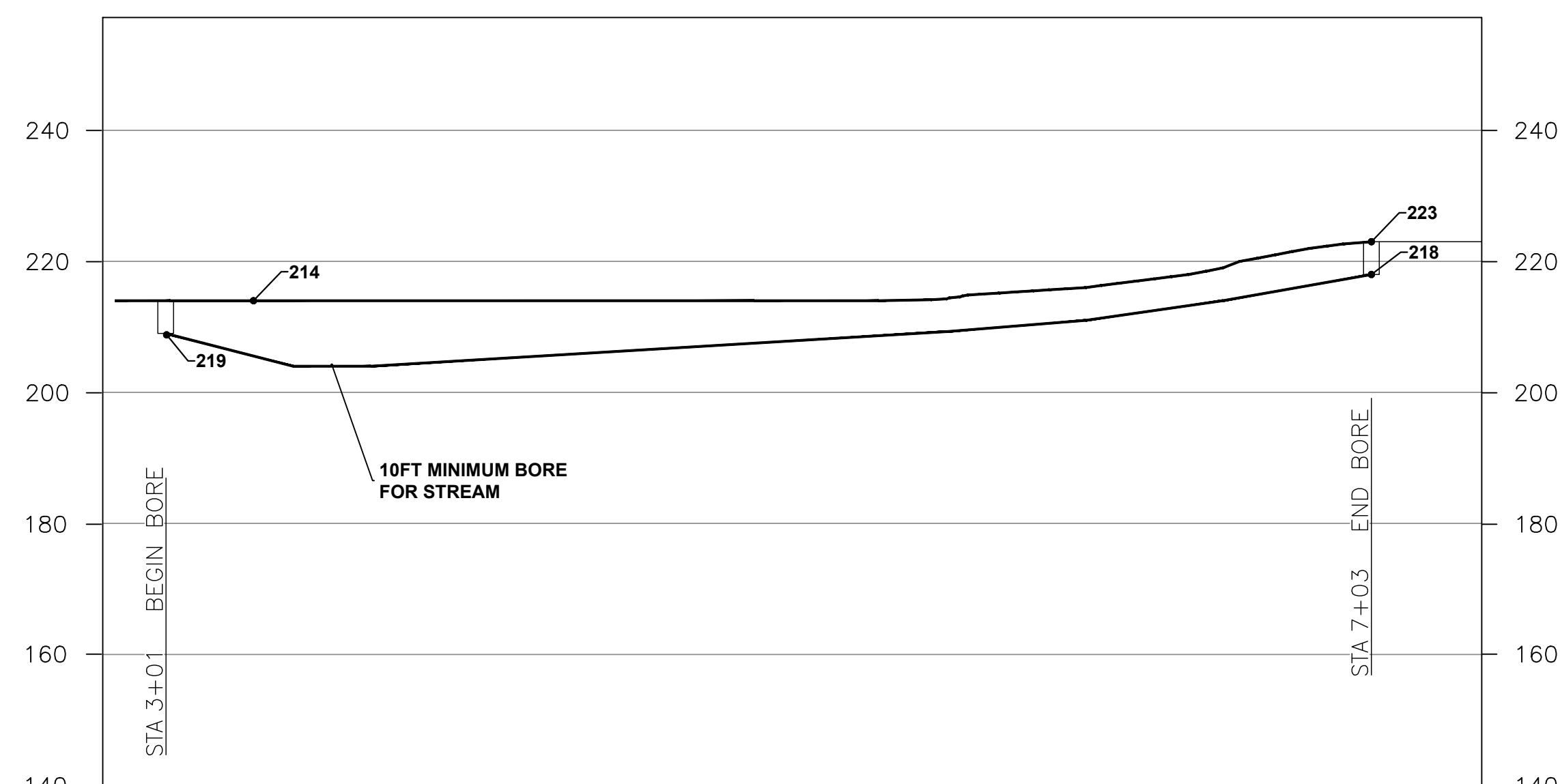


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DSGN	RI	9/21	THIS DRAWING WAS PREPARED BY TELCON SERVICES FOR A
DRN	RPE	11/21	SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC
CKD	RB	11/21	AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF
REV	REVISIONS	DATE	PERMISSION FROM THE CLIENT IS GRANTED.
			SCALE: 1" = 50'
			FOR 22x34 CONSTRUCTION DWG ONLY

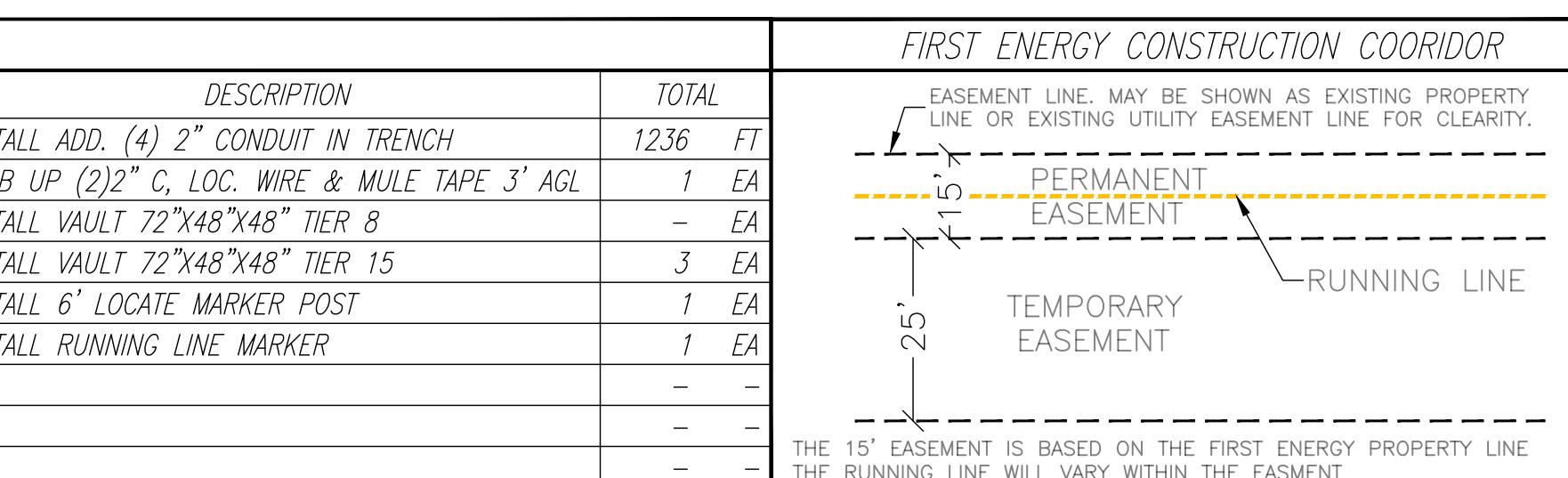


SEGMENT 16 PARTIAL PLAN



SEGMENT 16 PARTIAL PROFILE

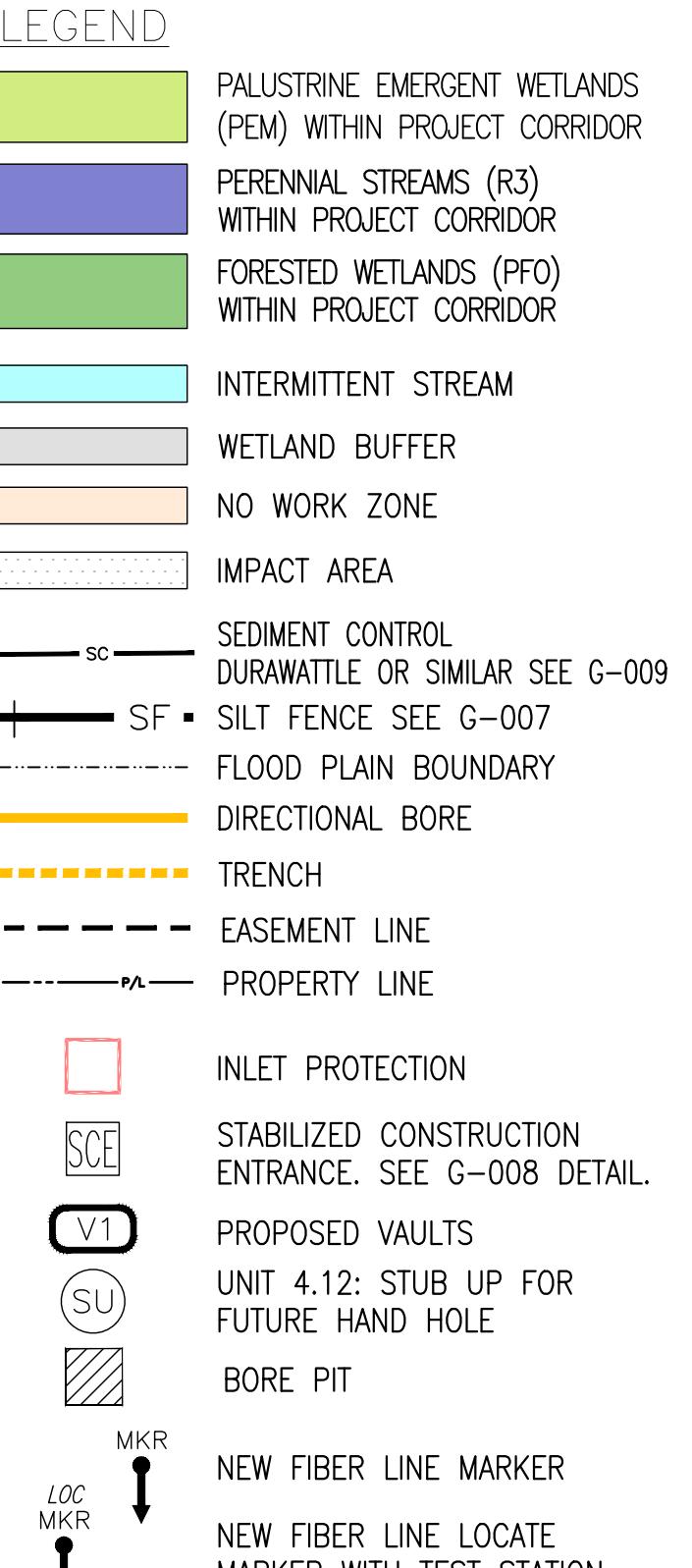
CONSTRUCTION UNITS		
UNIT	DESCRIPTION	TOTAL
4.2	CLEARING & RESTORATION - (TREE)	- FT
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT
4.4	OPEN TRENCH(24" W X 60'D WITH MIN. 48" COVER)	- FT
4.5	OPEN TRENCH(24" W X 62'D WITH MIN. 48" COVER)	832 FT
4.6	SELECT BACKFILL	450 SQFT
4.7	DIRECT. BORE - 24" SDR17 CASING & 30C(<250FT)	- FT
4.8	DIRECT. BORE - 24" SDR17 CASING & 30C (>250FT)	404 FT
4.9	INSTALL HH 24"x36"x30"	- EA
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT



EST. POHOLE LOCATES		TOTAL EA
DESCRIPTION	EST. POHOLE LOCATES	TOTAL EA
-	-	-
-	-	-
-	-	-
IMPACT AREAS		
DESCRIPTION	IMPACT AREAS	TOTAL SQFT
FLOOD PLAIN		14304
PALUSTRINE EMERGENT WETLANDS (PEM)		1511
PERENNIAL STREAMS (R3)		-
FORESTED WETLANDS (PFO)		-
TEMPORARY WETLAND BUFFER IMPACTS		584

quantum
loophole

TELCON SERVICES, LLC



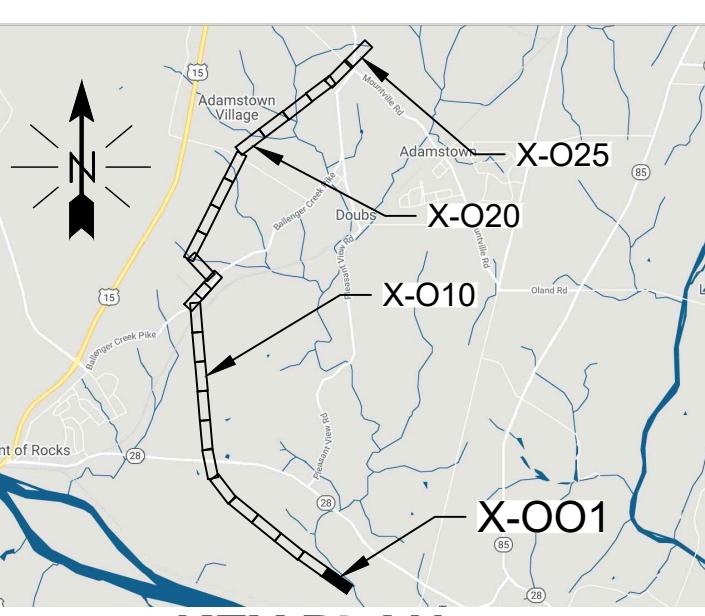
THE FOLLOWING ALIGNMENT AND GROUND PROFILE IS BASED ON USGS, ORTHOIMAGERY AND 2019 3DEP BARE EARTH DIGITAL ELEVATION MODEL (DEM).

THE FINAL ALIGNMENT, CONTOUR ELEVATION DESIGN AND BORE PROFILE TO BE DETERMINED IN THE FIELD. ANY FIELD ADJUSTMENTS TO THE ALIGNMENT WILL BE WITHIN APPROVED EASEMENTS/RIGHT-OF-ENTRY AGREEMENTS.

KNOWN STRUCTURES ALONG THE RUNNING-LINE, WITH FOUNDATION TO BE REVIEWED IN THE FIELD TO DETERMINE AVOIDANCE.

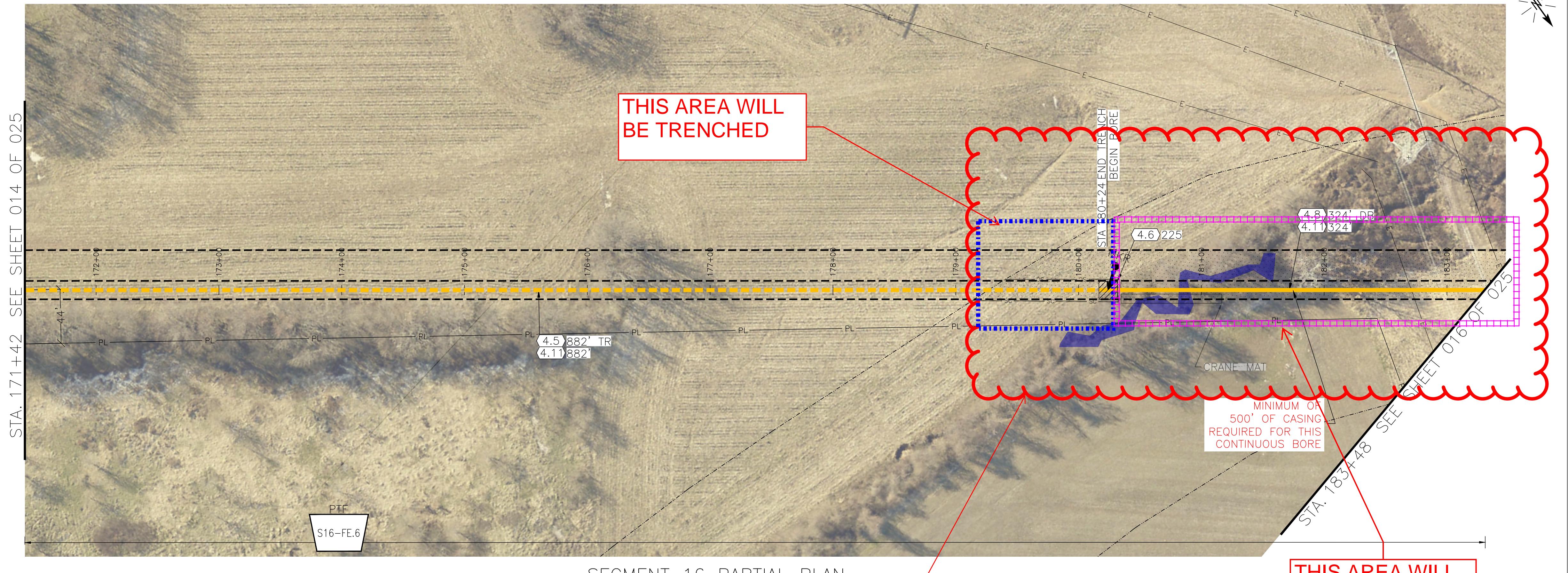
CONSTRUCTION/WORK IS FOR REPRESENTATION ONLY AND MUST BE OUTLINED ON-SITE.

SEE EASEMENT SHEET FOR PLACEMENT DETAILS AS REQUIRED. ALL EASEMENTS WILL REQUIRE OWNER NOTIFICATION BEFORE ENTERING THE PROPERTY. THE FINAL RUNNINGLINE WILL BE FIELD STAKED PRIOR TO CONSTRUCTION.



KEY PLAN

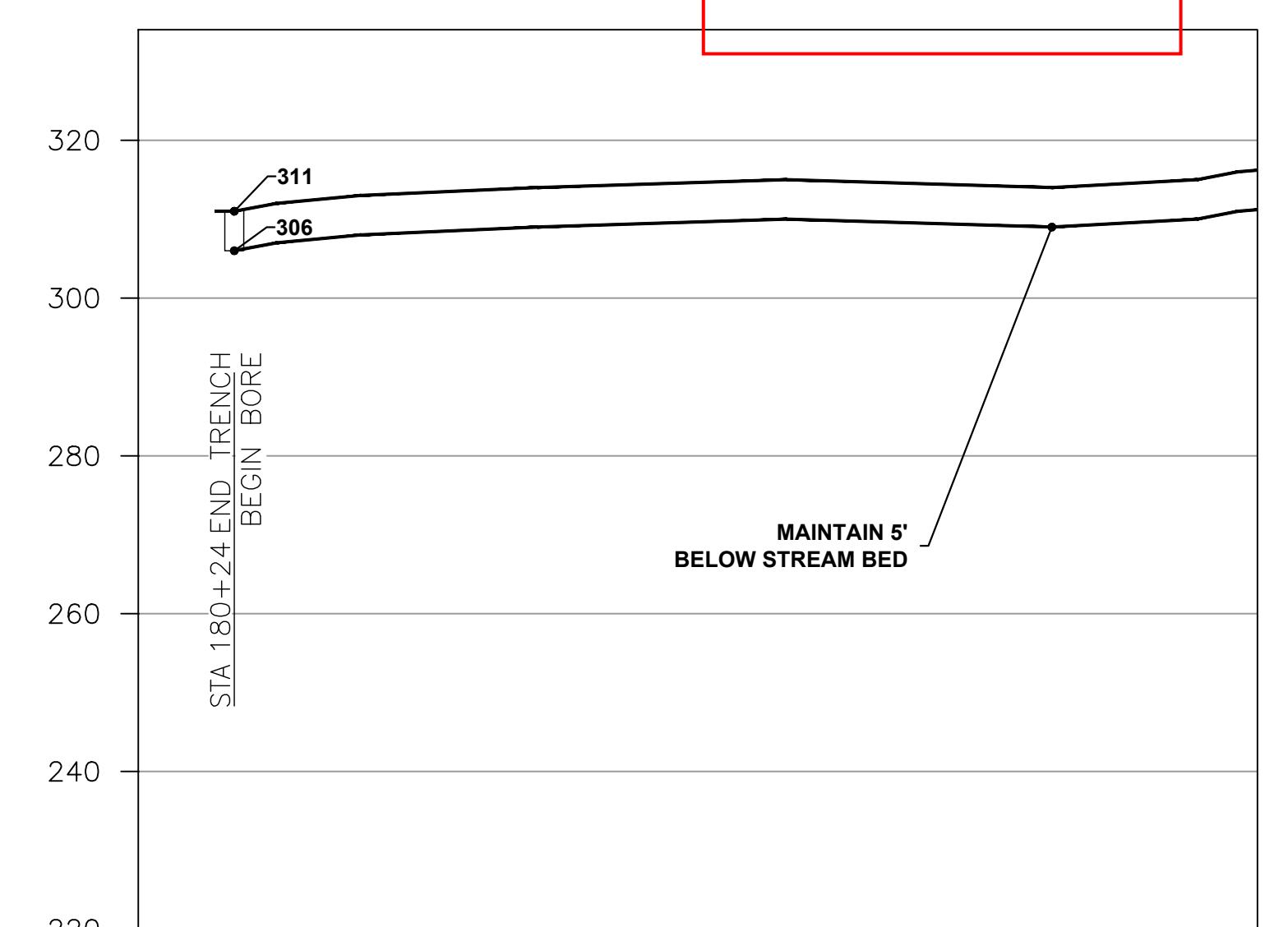
QUANTUM LOOPHOLE			JOB NUMBER	REV
TELECOMMUNICATIONS FIBER	PROJECT SAGE	3		
NETWORK BUILD				
SEGMENT 16 PLAN AND PROFILE	DRAWING NUMBER			
P#0109-0014-0032 & P#0109-0014-0033	S16-X-001			
3 ISSUED FOR ESC PERMIT	05/11/22	RPE	RB	RI
1 MODIFIED PTF	2/24/22	RPE	RB	RI
2 PERMIT CORRECTIONS	1/21/22	RPE	RB	RI
1 REVISED PER FIELD INVESTIGATION	12/09/21	RPE	RB	RI
REV	REVISIONS	DATE	DRN	CKD DSGN APPD
DSGN	RI	9/21		
DRN	RPE	11/21		
CKD	RB	11/21		
SCALE: 1" = 50'				FOR 22x34 CONSTRUCTION DWG ONLY



SEGMENT 16 PARTIAL PLAN

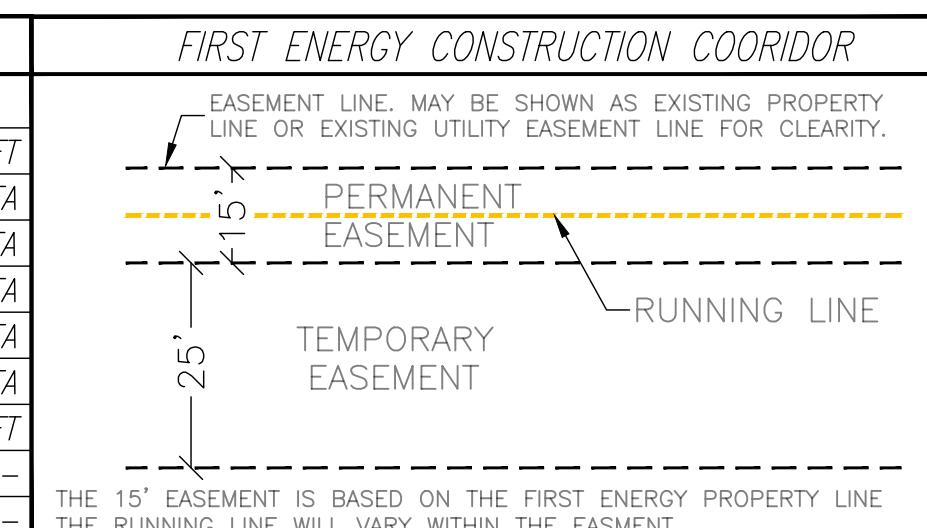
**BEGIN OF
FLOODPLAIN
MAP 24021C0420D**

**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**



SEGMENT 16 PARTIAL PROFILE

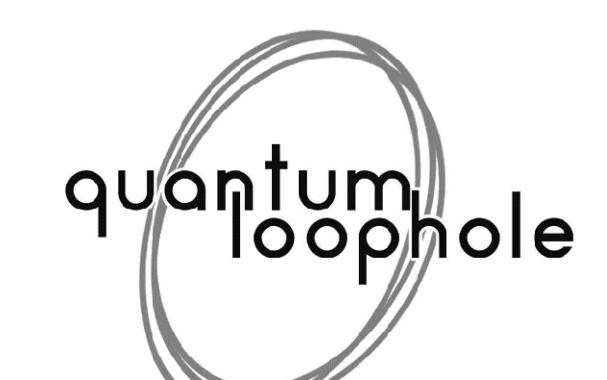
CONSTRUCTION UNITS					
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	STUB UP (2)2" C, LOC. WIRE & MULE TAPE 3' AGL	
4.4	OPEN TRENCH(24"W X 60"D WITH MIN. 48" COVER)	- FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	
4.5	OPEN TRENCH(24"W X 62"D WITH MIN. 48" COVER)	882 FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	
4.6	SELECT BACKFILL	225 SQFT	5.2	INSTALL 6' LOCATE MARKER POST	
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INSTALL RUNNING LINE MARKER	
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	324 FT	5.10	JACK & BORE RXR 24" STEEL CASING & 30 C	
4.9	INSTALL HH 24"X36"X30"	- EA	-	-	
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	



EST. POTHOLE LOCATES	
DESCRIPTION	TOTAL EA
-	-
-	-
-	-

IMPACT AREAS	
DESCRIPTION	TOTAL SQFT
FLOOD PLAIN	16217
PALUSTRINE EMERGENT WETLANDS (PEM)	-
PERENNIAL STREAMS (R3)	-
FORESTED WETLANDS (PFO)	-
TEMPORARY WETLAND BUFFER IMPACTS	-

QUANTUM LOOPHOLE		JOB NUMBER		REV		
TELECOMMUNICATIONS FIBER NETWORK BUILD		PROJECT SAGE		 3		
SEGMENT 16 PLAN AND PROFILE P#0102-0012-0066-0000-0000 1306'		DRAWING NUMBER		S16-X-015		
3	ISSUED FOR ESC PERMIT	05/11/22	RPE	RB	RI	
2	PERMIT CORRECTIONS	1/21/22	RPE	RB	RI	
1	REVISED PER FIELD INVESTIGATION	12/09/21	RPE	RB	RI	
0	ISSUED FOR PERMIT	11/28/21	RPE	RB	RI	
REV	REVISIONS	DATE	DRN	CKD	DSGN	APPD

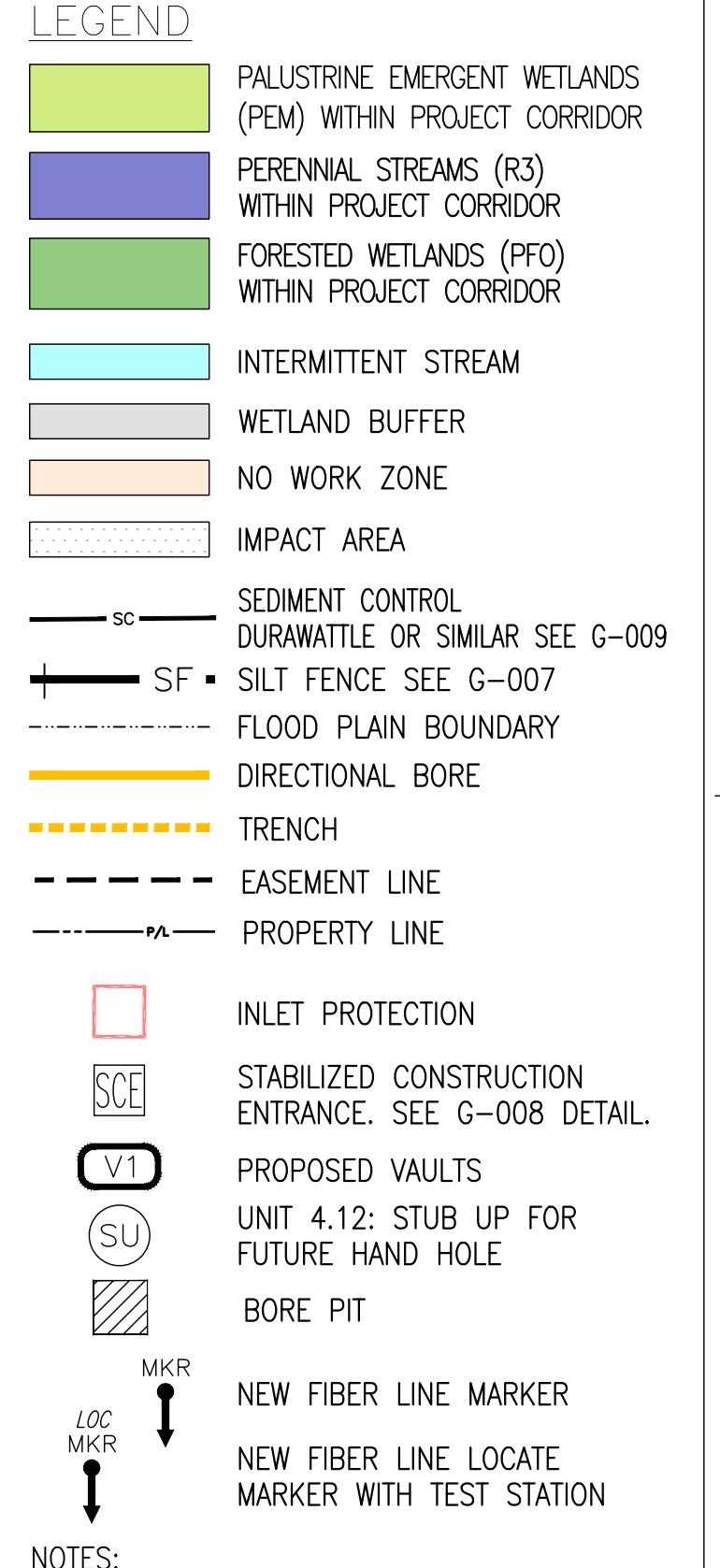


QUANTUM LOOPHOLE

The logo for the Office of the Auditor General of Ontario, featuring a stylized 'O' and 'H' in green, with a grey shovel icon in the center.

ACCEPTED BY: _____ RICH PAUL-HUS _____ DATE _____

PRINTED FULLSIZE	 <p>PLAN SCALE: 11</p>
PROJECT SA	 <p>PROFILE VERTICAL</p>



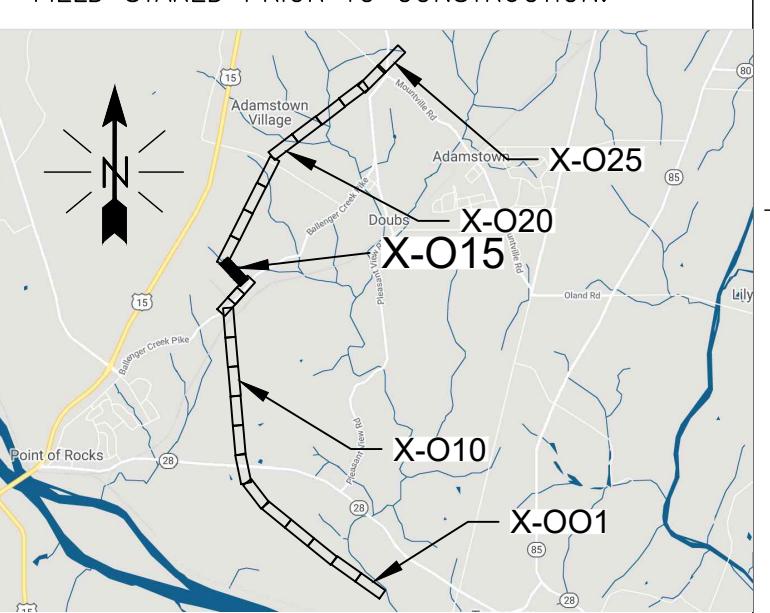
THE FOLLOWING ALIGNMENT AND GROUND PROFILE IS BASED ON USGS, ORTHOIMAGRY AND 2019 3DEP BARE EARTH DIGITAL ELEVATION MODEL (DEM).

THE FINAL ALIGNMENT, CONTOUR ELEVATION DESIGN AND BORE PROFILE TO BE DETERMINED IN THE FIELD. ANY FIELD ADJUSTMENTS TO THE ALIGNMENT WILL BE WITHIN APPROVED EASEMENTS/RIGHT-OF-ENTRY AGREEMENTS.

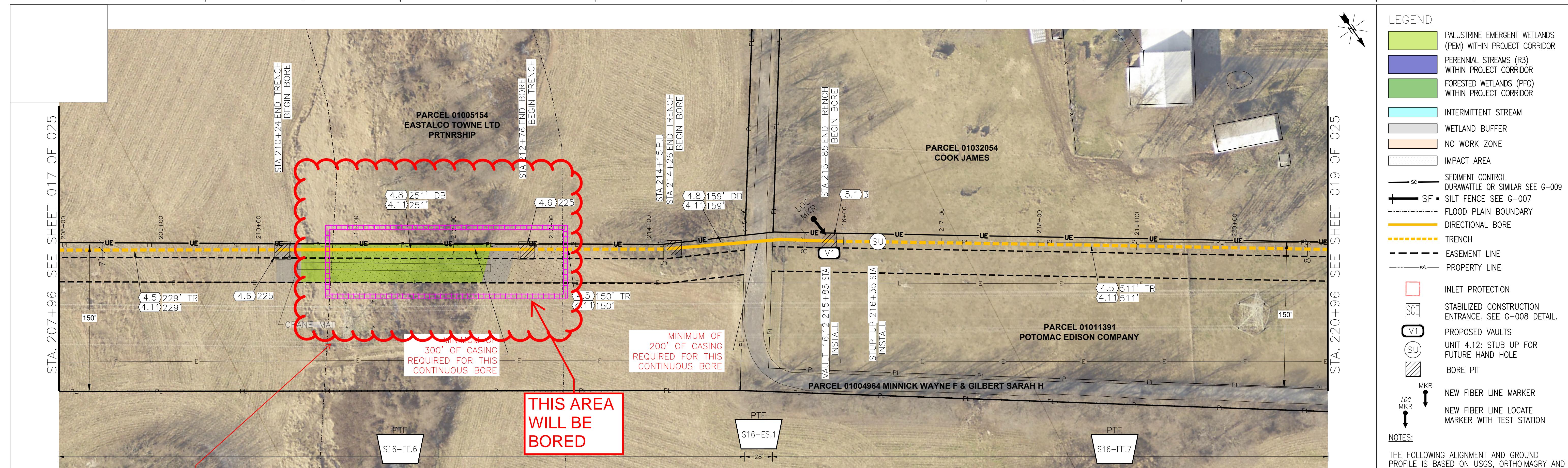
KNOWN STRUCTURES ALONG THE RUNNING-LINE,
WITH FOUNDATION TO BE REVIEWED IN THE FIELD
TO DETERMINE AVOIDANCE.

CONSTRUCTION/WORK IS FOR REPRESENTATION

SEE EASEMENT SHEET FOR PLACEMENT DETAILS AS REQUIRED. ALL EASEMENTS WILL REQUIRE OWNER NOTIFICATION BEFORE ENTERING THE PROPERTY. THE FINAL RUNNINGLINE WILL BE FIELD STAKED PRIOR TO CONSTRUCTION.

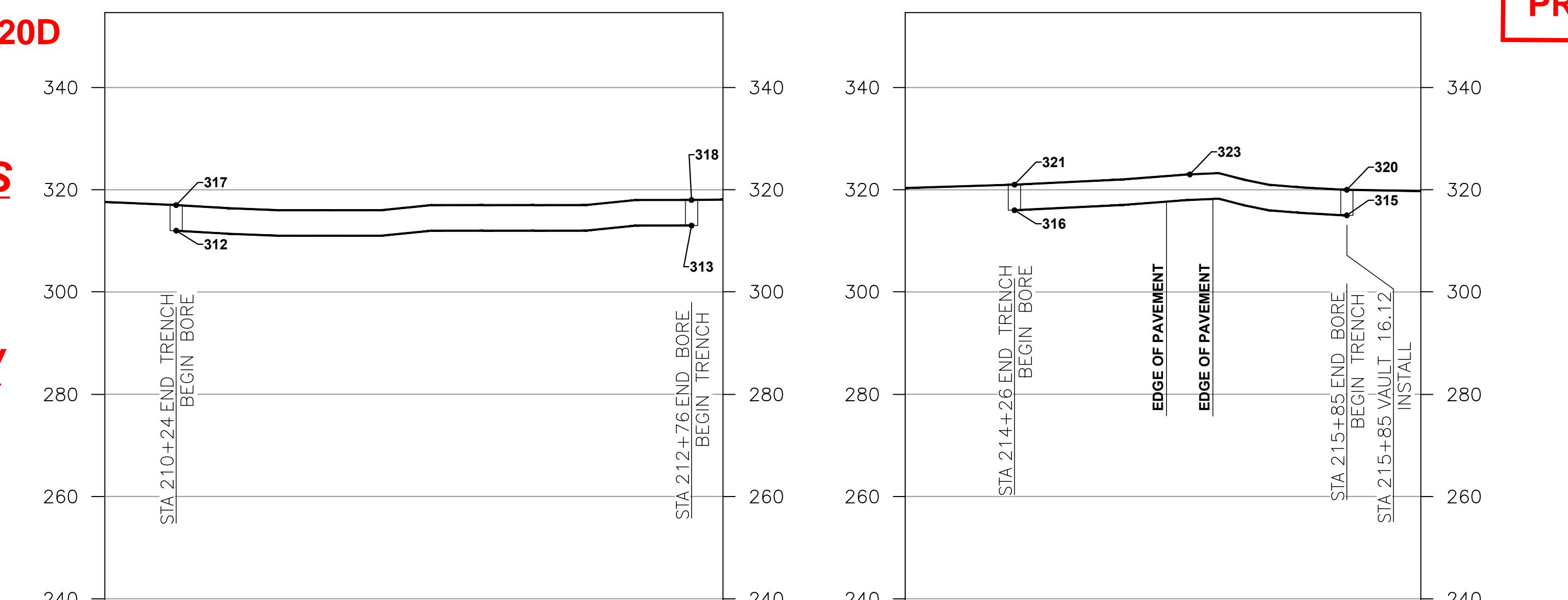


KEY PLAN



**FLOODPLAIN
MAP
24021C0420D**

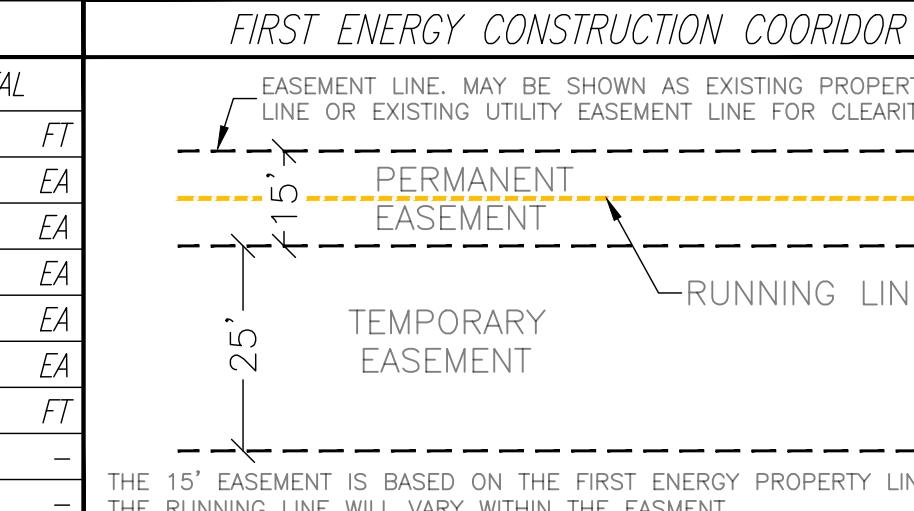
**ALL MATERIALS
(HAND HOLES,
CONDUITS,
FIBER) WILL BE
BURIED BELOW
GRADE**



SEGMENT 16 PARTIAL PROFILE

**END FLOODPLAIN
PRINTS**

CONSTRUCTION UNITS					
UNIT	DESCRIPTION	TOTAL	UNIT	DESCRIPTION	TOTAL
4.2	CLEARING & RESTORATION - (TREE)	- FT	4.11	INSTALL ADD. (4) 2" CONDUIT IN TRENCH	1300 FT
4.3	CLEARING & RESTORATION - (BRUSH & VEGETATION)	- FT	4.12	STUB UP (2)2" C, LOC. WIRE & MULE TAPE 3' AGL	1 EA
4.4	OPEN TRENCH(24" W X 60'D WITH MIN. 48" COVER)	- FT	5.0	INSTALL VAULT 72"X48"X48" TIER 8	- EA
4.5	OPEN TRENCH(24" W X 62'D WITH MIN. 48" COVER)	890 FT	5.1	INSTALL VAULT 72"X48"X48" TIER 15	3 EA
4.6	SELECT BACKFILL	450 SQFT	5.2	INSTALL 6' LOCATE MARKER POST	1 EA
4.7	DIRECT. BORE - 24"SDR17 CASING & 30C(<250FT)	- FT	5.3	INSTALL RUNNING LINE MARKER	- EA
4.8	DIRECT. BORE - 24"SDR17 CASING & 30C (>250FT)	410 FT	5.10	JACK & BORE RXR 24" STEEL CASING & 30 C	- FT
4.9	INSTALL HH 24"X36"X30"	- EA	-	-	-
4.10	INSTALL ADD. 2" CONDUIT IN TRENCH (1 CONDUIT)	- FT	-	-	-



DESCRIPTION	EST. POTHOLE LOCATES	TOTAL EA
DRIVeway BORE 215+00		2
-		-
-		-
IMPACT AREAS		
DESCRIPTION	IMPACT AREAS	TOTAL SQFT
FLOOD PLAIN		3582
PALUSTRINE EMERGENT WETLANDS (PEM)		1507
PERENNIAL STREAMS (R3)		-
FORESTED WETLANDS (PFO)		-
TEMPORARY WETLAND BUFFER IMPACTS		3284

QUANTUM LOOPHOLE			JOB NUMBER	REV
TELECOMMUNICATIONS FIBER			PROJECT SAGE	3
NETWORK BUILD				
SEGMENT 16 PLAN AND PROFILE			DRAWING NUMBER	
P#0102-0012-0065 & P#0102-0011-0011 & P#0103-0001-0118			S16-X-018	
3 ISSUED FOR ESC PERMIT	05/11/22	RPE	DRN	RI
2 PERMIT CORRECTIONS	1/21/22	RPE	CKD	DRN
1 REVISED PER FIELD INVESTIGATION	12/09/21	RPE	DKD	RI
0 ISSUED FOR PERMIT	11/28/21	RPE	DSGN	APPD
REV	REVISIONS	DATE	DRN	CKD
DSGN	RI	9/21		
DRN	RPE	11/21		
CKD	RB	11/21		
SCALE: 1" = 50'				FOR 22x34 CONSTRUCTION DWG ONLY

quantum
loop hole

TELCON SERVICES, LLC

General Criteria – Special Exception:

The following questions and statements are required to be addressed with your Board of Appeals (BOA) Special Exception Application. Some questions or statements may only require a simple acknowledgement that you have read them and that you understand them. Other questions or statements will require a response with information provided based on your specific application. You must respond to all questions and statements

- (A) An application for a special exception may be made only by persons with a financial, contractual or proprietary interest in the property for which a special exception is requested.
 - a. **This request is being made by QLoop which is the entity with financial, contractual, and proprietary interest in the property. See attached proof of financial interest.**
- (B) A grant of a special exception is basically a matter of development policy, rather than an appeal based on administrative error or on hardship in a particular case. The Board of Appeals should consider the relation of the proposed use to the existing and future development patterns. A special exception shall be granted when the Board finds that:
 - (1) The proposed use is consistent with the purpose and intent of the Comprehensive Development Plan and of this chapter; and
 - a. **The proposed use is consistent with the existing and future development patterns of this area, as the existing land use is a utility corridor, and it will continue to be used as a utility corridor in perpetuity.**
 - (2) The nature and intensity of the operations involved in or conducted in connection with it and the size of the site in relation to it are such that the proposed use will be in harmony with the appropriate and orderly development of the neighborhood in which it is located; and
 - a. **The nature and intensity of the operations involved with the proposed use will be in harmony with the appropriate and orderly development of the neighborhood. The proposed project places fiber optic cable within existing powerline utility rights of way, which pass through agricultural areas that are continuously disturbed by ground cultivation.**
 - (3) Operations in connection with the special exception at the proposed location shall not have an adverse effect such as noise, fumes, vibration or other characteristics on neighboring properties above and beyond those inherently associated with the special exception at any other location within the zoning district; and
 - a. **Operation of the fiber optic cable will have no adverse effect on neighboring properties as it is a subsurface and silent utility. Temporary construction impacts associated with installation of the cable will be of no greater or lesser magnitude than the existing operations required to maintain the power line infrastructure or cultivate and harvest the fields.**
 - (4) Parking areas will comply with the off street parking regulations of this chapter and will be screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety.
 - a. **Not applicable, the proposed use and operation will not require parking areas. Entrance and exit drives have already been established by the power company and farmers.**
 - (5) The road system providing access to the proposed use is adequate to serve the site for the intended use.
 - a. **Operation of the proposed fiber optic cable will require negligible vehicular access. Only occasional service trucks will be required to access the line. The**

existing road system which currently provides adequate access and safety for the service of the power lines and farms will be sufficient for the operation of the fiber optic cable as well.

(C) In addition to the general requirements listed above, uses requiring a special exception shall be subject to the specific requirements for each use outlined in §§ [1-19-8.320](#) through [1-19-8.355](#) of this Code.

ACKNOWLEDGED

(D) A special exception approval may be granted in accordance with the general and specific requirements enumerated in this section. The Board of Appeals may, in addition to other requirements imposed under this chapter and is hereby authorized to add to the specific requirements any additional conditions that it may deem necessary to protect adjacent properties, the general neighborhood, and its residents or workers. Violation of such additional conditions, when made a part of the terms under which the special exception permit is granted, is a violation of this chapter and may be grounds for termination of the special exception.

ACKNOWLEDGED

(E) The Board of Appeals shall not grant a special exception unless and until:

(1) A written application for a special exception is submitted indicating the section of this chapter under which the special exception is sought and stating the grounds on which it is requested; and

(2) A public hearing has been held; and the Board had made a finding of fact that the special exception requested meets the general and specific requirements outlined in this section.

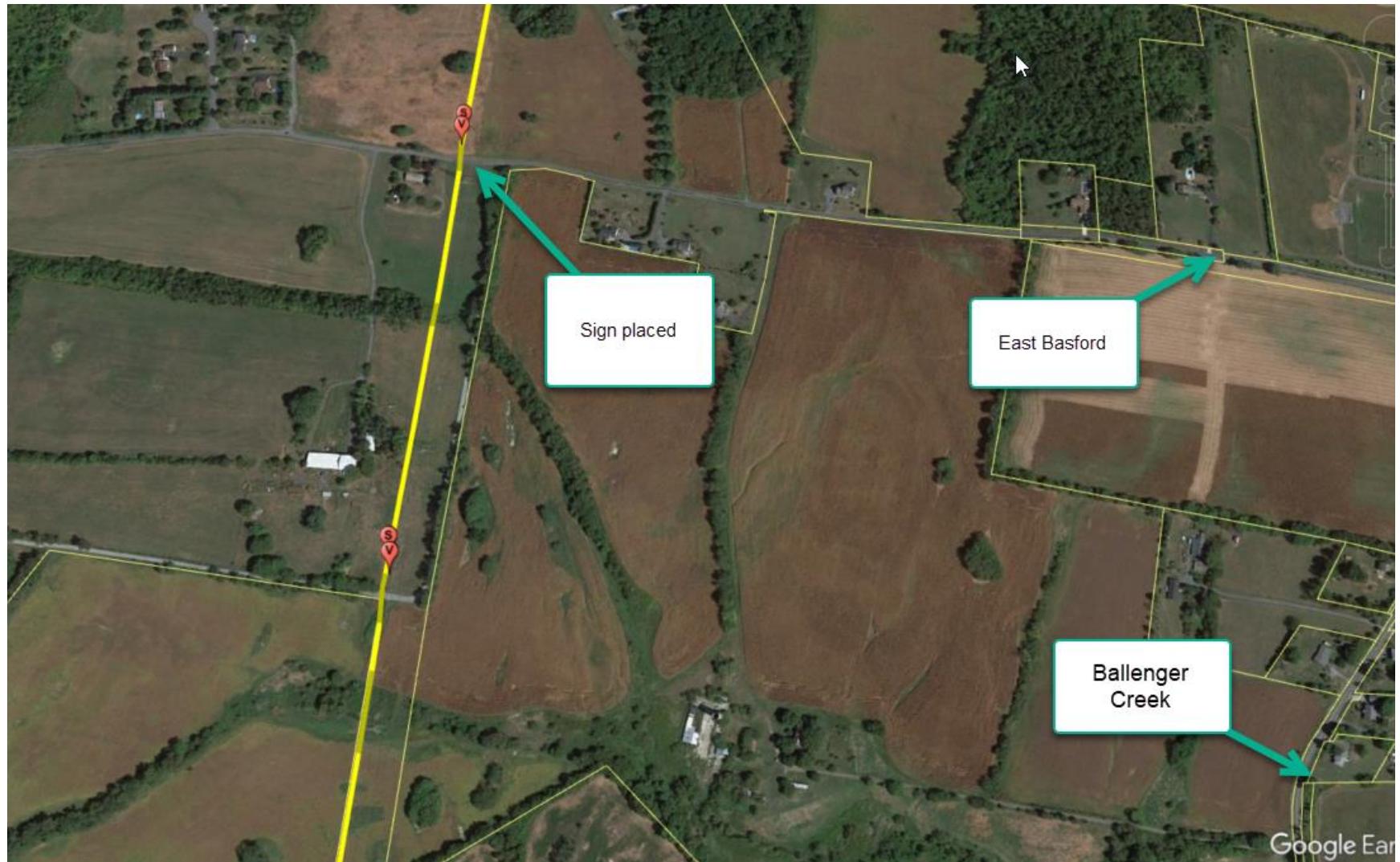
(F) The grant of special exception may include approval of customary incidental accessory uses as reviewed and approved by the Zoning Administrator.

(G) No use or activity permitted as a special exception shall be enlarged or extended beyond the limits authorized in the grant of special exception. All enlargements, extensions, and changes in use shall require grants of special exception, as in the case of an original petition.

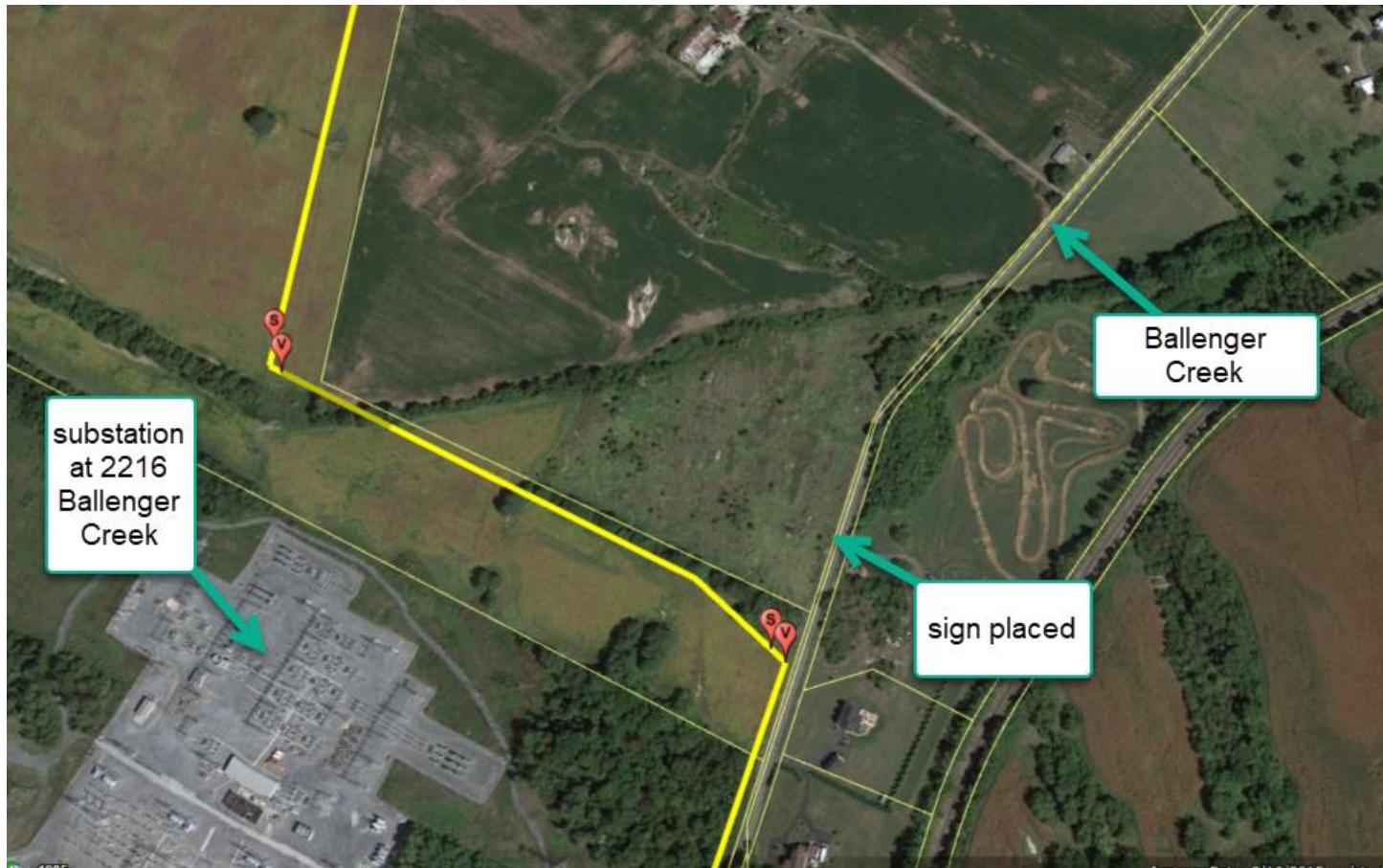
(H) If a grant of special exception is denied, no new petition for the denied use on the same property shall be accepted by the Board of Appeals for 1 year after the date of denial of the petition.

(I) A decision of the Board of Appeals granting a special exception will be void 5 years from date of approval by the Board of Appeals unless the use is established, a building permit is issued, construction has begun, or final site development plan approval has been received in accordance with the terms of the decision. Upon written request submitted to the Zoning Administrator no later than 1 month prior to the expiration date and for good cause shown by the applicant, a 1 time extension may be granted by the Zoning Administrator for a period not to exceed 6 months.

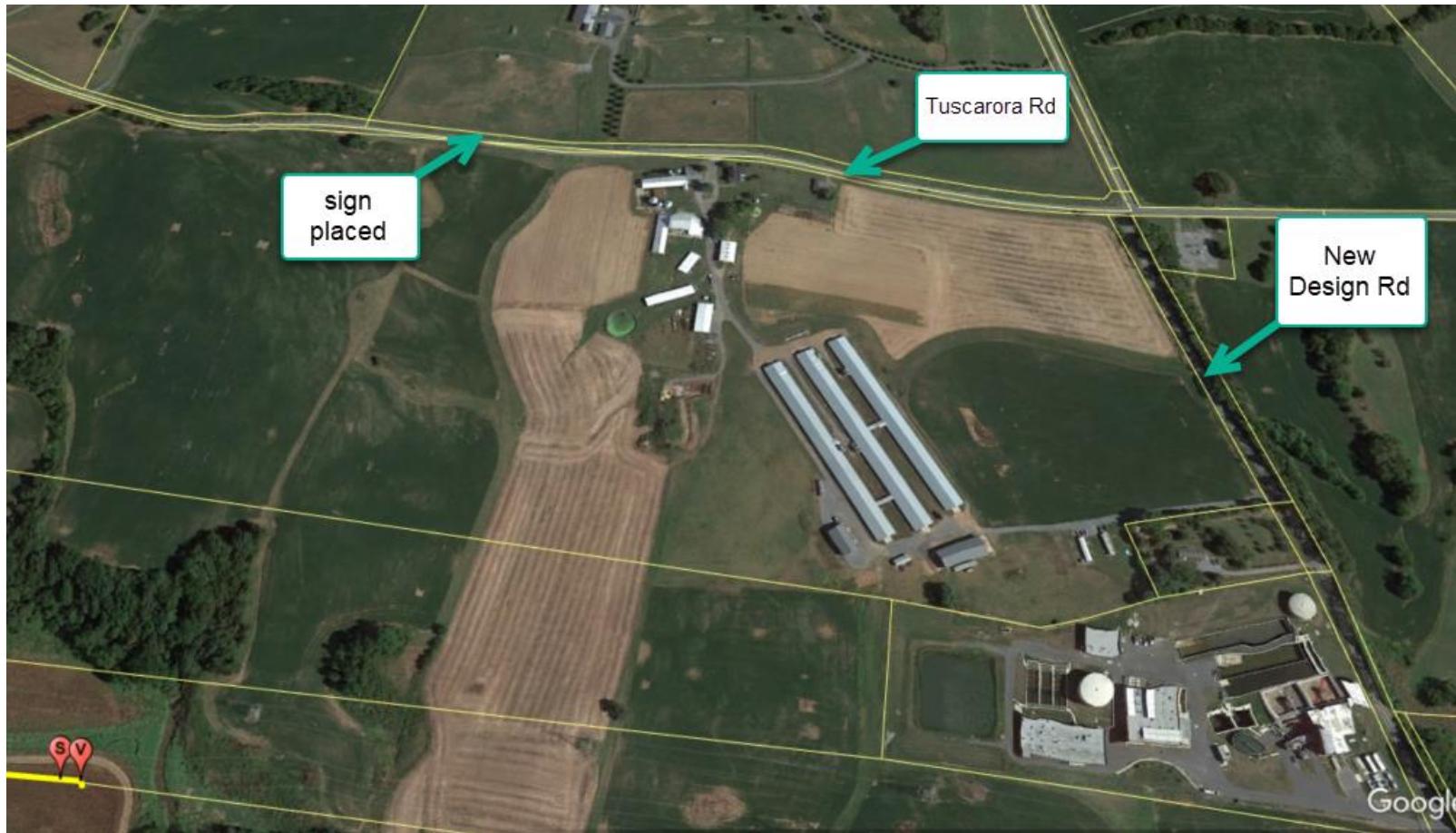
ACKNOWLEDGED



Picture 2023-01-05-12-34-15



Picture 2023-01-05-12-24-41



Picture 2023-01-05-12-07-09



Picture 2023-01-05-09-03-31

